

FOUND NAIL & DISK
IN CUTOUT ILLEGIBLE

NW 2ND STREET

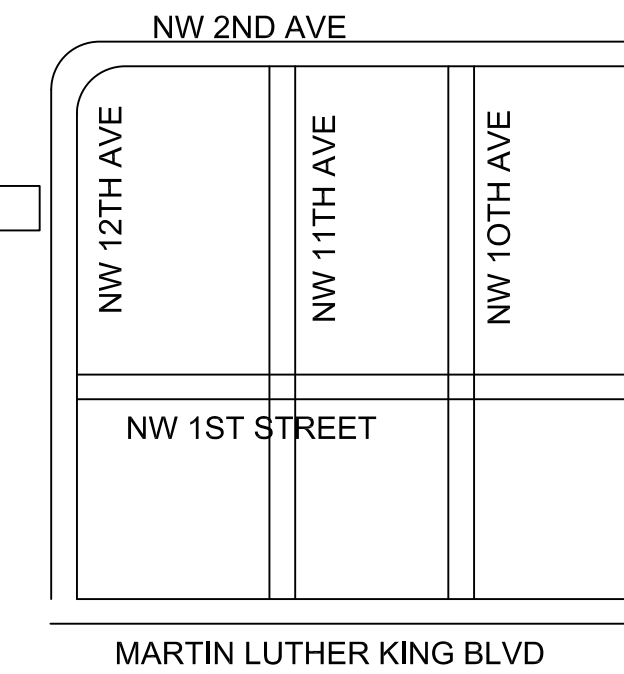
50.00' RIGHT OF WAY
PLAT BOOK 28, PAGE 84



PROJECT



CANAL



LOCATION MAP
NOT TO SCALE

LEGAL DESCRIPTION:

NORTH ONE HALF OF LOT 40, THE CROSBY SUBDIVISION, PLAT BOOK 21, PAGE 34, PALM BEACH COUNTY FLORIDA.

CONTAINING 0.14 ACRES, MORE OR LESS

SURVEYOR'S NOTES:

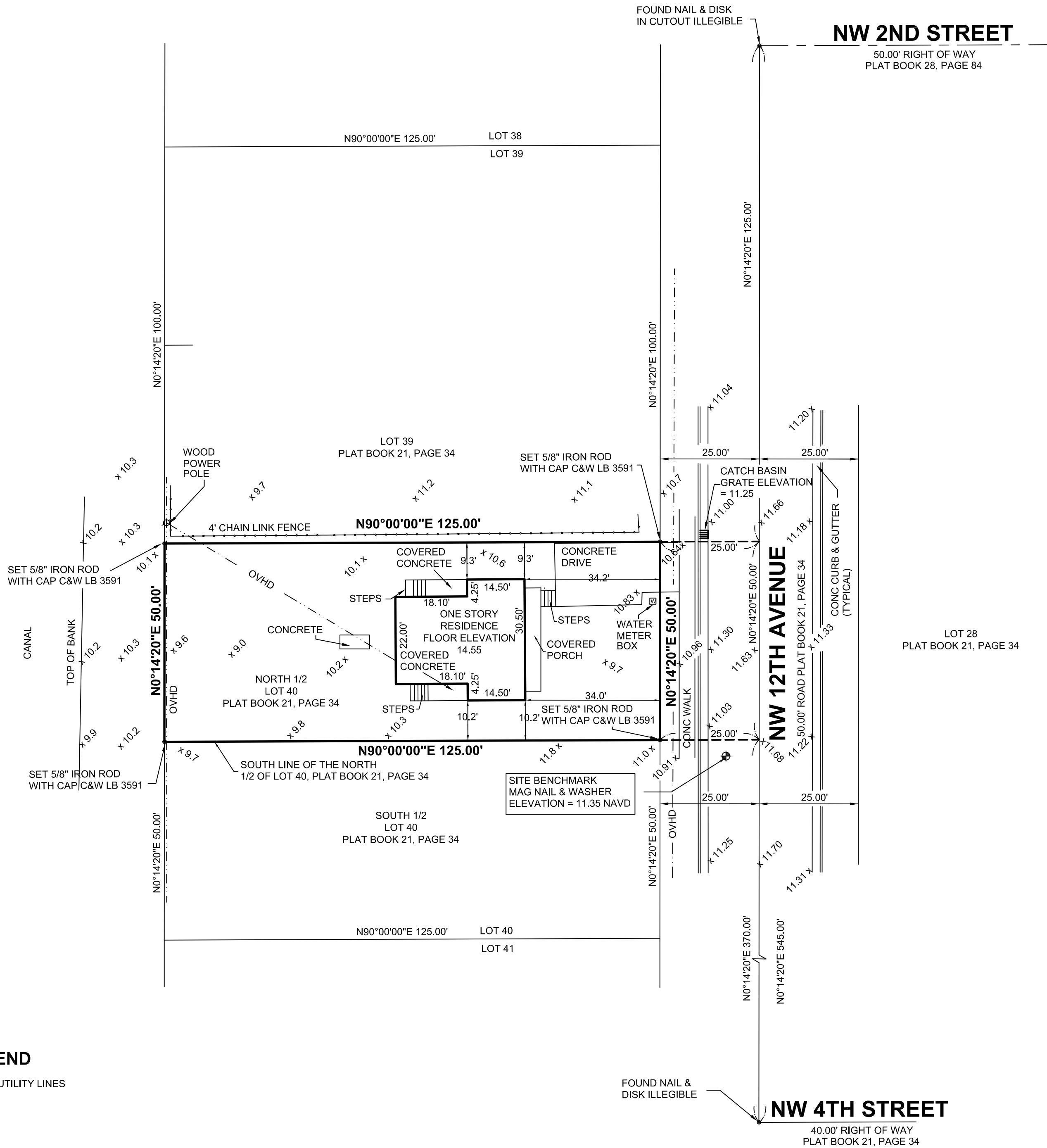
1. THE SURVEY DEPICTED HEREIN IS CLASSIFIED AS BOUNDARY SURVEY.
2. THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED EMBOSSED SEAL OF A FLORIDA REGISTERED
3. UNDERGROUND FOUNDATIONS WERE NOT LOCATED.
4. THE SCALE OF SOME FEATURES MAY BE EXAGGERATED FOR CLARITY. THE SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION.
5. THE LAND DESCRIPTION WAS PROVIDED BY THE OWNER.
6. DIMENSIONS SHOWN HEREON ARE EXPRESSED IN UNITED STATES STANDARD FEET AND DECIMAL PARTS THEREOF.
7. BEARINGS SHOWN HEREON ARE REFERENCED TO THE EAST LINE OF THE PLAT OF THE CROSBY SUBDIVISION, PLAT BOOK 21, PAGE 34, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, HAVING A BEARING OF NORTH 00°14'20" EAST.
8. SUBJECT PROPERTY LIES IN ZONE AE WITH A BASE OF 16.0 AS SHOWN ON FLOOD INSURANCE RATE MAP 12099C0461F, DATE OF OCTOBER 05, 2017.
9. ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND ARE BASED ON PALM BEACH COUNTY ENGINEERING BENCHMARK "Z 413" WITH A PUBLISHED ELEVATION OF 18.455.

SURVEY CERTIFICATION:

I HEREBY CERTIFY THAT THE ATTACHED BOUNDARY AND TOPOGRAPHIC SURVEY OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED UNDER MY DIRECTION ON OCTOBER 20, 2012. I FURTHER CERTIFY THAT THIS BOUNDARY SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH IN CHAPTER 6J-17 ADOPTED BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS, PURSUANT TO FLORIDA STATUTES 472.027.

DATE: _____

DAVID P. LINDLEY, P.L.S.



LEGEND

OVHD OVERHEAD UTILITY LINES
CONC CONCRETE

FOUND NAIL & DISK ILLEGIBLE

NW 4TH STREET

40.00' RIGHT OF WAY
PLAT BOOK 21, PAGE 34

CAULFIELD & WHEELER, INC.
CIVIL ENGINEERING - LAND PLANNING
LANDSCAPE ARCHITECTURE - SURVEYING
7900 GLADES ROAD - SUITE 100
BOCA RATON, FLORIDA 33434
PHONE (561)-392-1991 / FAX (561)-750-1452

275 NW 12TH AVENUE
SOUTH BAY, FL
BOUNDARY SURVEY

REVISIONS	DATE	BY

DATE	11-07-2017	SCALE	1"=20'
FLD.BK.	0000	CHECKED BY	00000
PAGE	00000		
FILE NAME	0000		

7992
SHT.NO.
1
OF 1 SHEETS

Cameron Residence

Single Family Residence PALM BEACH COUNTY



Department of Economic Sustainability PERMIT SET DOCUMENTS

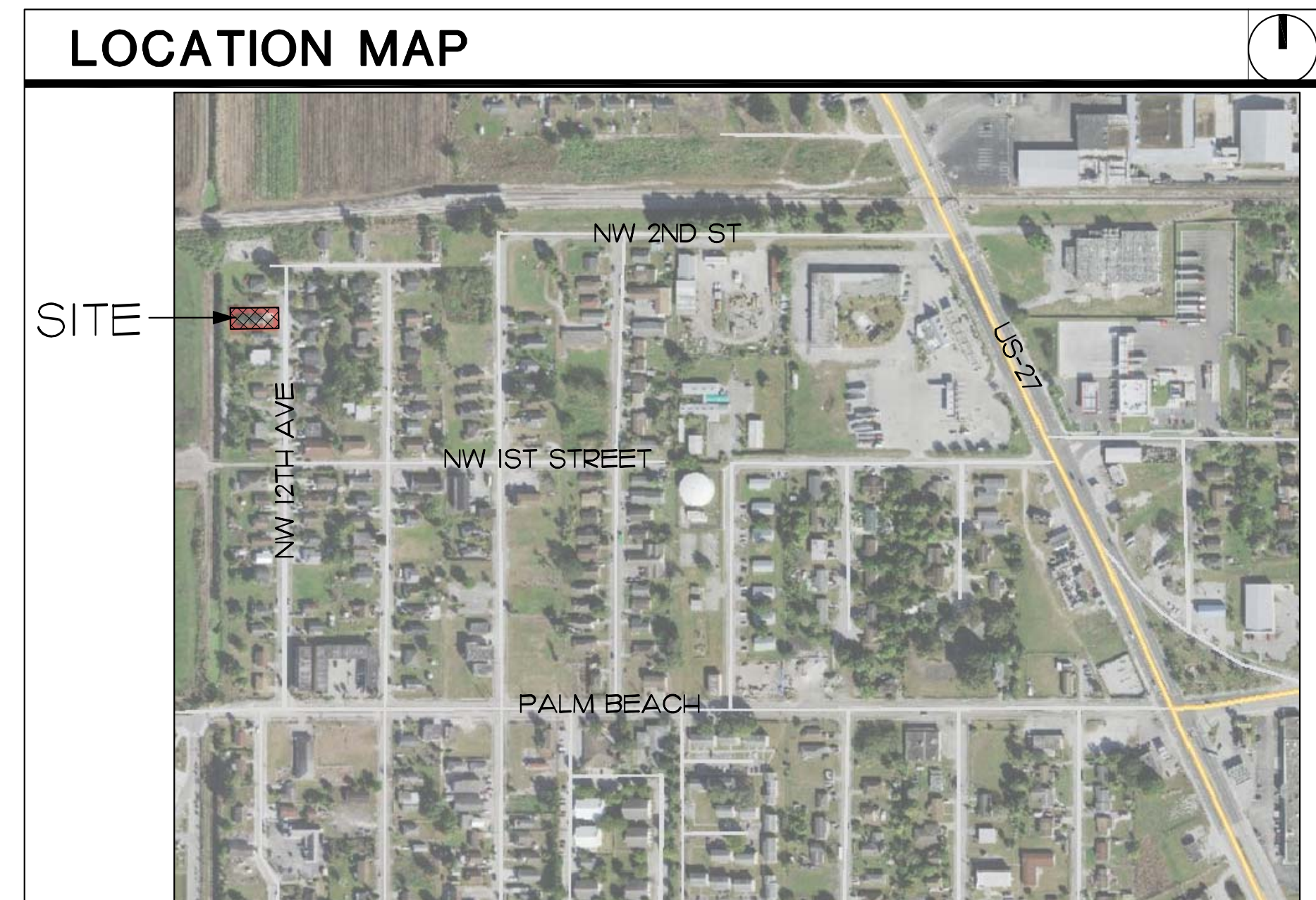
Dated: JUNE 27, 2019

Architect
Colome' and Associates, Inc.

530 24th Street
West Palm Beach, FL 33047
(561) 537-9211

Structural Engineer
Warren Von Werne, PE

11388 Okeechobee Boulevard
West Palm Beach, FL 33411
(561) 795-1818



GENERAL NOTES

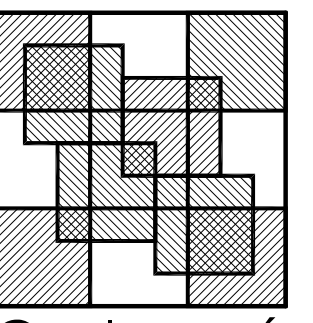
- ALL VERTICAL DIMENSIONS ARE FROM FINISH FLOOR SLAB. A.F.F. ABBREVIATES 'ABOVE FINISH FLOOR'
- THE ARCHITECT AND ENGINEER ACCEPT NO RESPONSIBILITY FOR WORK WHICH IS NOT IN COMPLIANCE WITH THE INTENT AND REQUIREMENTS OF THE DRAWINGS, OR WHICH HAS BEEN PERFORMED BASED UPON THE INTERPRETATION OF INTENT OF THE DRAWINGS BY PARTIES OTHER THAN THE ARCHITECT AND ENGINEER.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO BIDDING AND STARTING CONSTRUCTION. GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE FLORIDA BUILDING CODE 6TH EDITION (2017) INCLUDING ADOPTED LOCAL AMENDMENTS, AS WELL AS THE LATEST EDITION OF ALL GOVERNING STATE AND NATIONAL CODES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING OF PLANS, SECTIONS, AND DETAILS. DIMENSIONS ARE NOMINAL AND TO FACE OF STUDS UNLESS NOTED OTHERWISE.
- ALL WOOD IN DIRECT CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED. PROVIDE ALL REQUIRED BLOCKING AS NEEDED FOR BUILT-IN CASEWORK OR EQUIPMENT SUPPORTS. COORDINATE WITH SUBCONTRACTORS AS REQUIRED.
- VERIFY SIZES OF ALL EQUIPMENT AND MATERIALS. N.I.C. AND COORDINATE OPENINGS, CLEARANCES, ELECTRICAL AND MECHANICAL REQUIREMENTS WITH THE OWNER PRIOR TO INSTALLATION.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF AMERICANS WITH DISABILITIES ACT AND FLORIDA BUILDING CODE 6TH EDITION (2017) ACCESSIBILITY CODE.

STC REQUIREMENTS:
ALL BATT INSULATION TO BE SONOBATTS, BY OWEN CORNING OR APPROVED EQUAL SOUND REDUCTION BATT INSULATION MEETING SPECIFICATION REQUIREMENTS
ALL DOORS AND WINDOWS TO HAVE STC 30 RATING MINIMUM - DOORS AND WINDOWS IN SPECIFICATIONS MEET THESE REQUIREMENTS. ANY SUBSTITUTION MUST MEET THESE REQUIREMENTS AND SPECIFICATION REQUIREMENTS

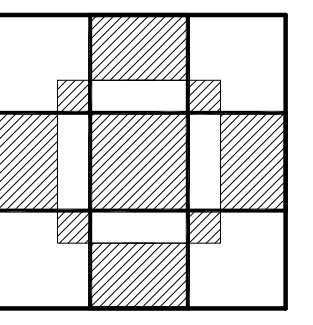
GREEN BUILDING REQUIREMENTS:
EXTERIOR WALL INSULATION - R-7.5
CEILING / ATTIC INSULATION - R-38
IMPACT WINDOWS AND DOORS - U-FACTOR = 0.24 / SHGC = 0.27
ALL LAMPS / LIGHT FIXTURES PURCHASED WITH ALLOWANCE TO BE ENERGY STAR RATED + UL / CFL OR LED LAMPS
REFRIGERATOR / DISHWASHER / WASHING MACHINE TO BE ENERGY STAR RATED
NO CARPETING ON PROJECT
LOW VOC PAINTS AND SEALANT. SEAL ALL JOINTS DESIGNED TO PREVENT WATER INTRUSION AND ALLOW MOISTURE TO EXPEL FROM STRUCTURE
PROGRAMMABLE THERMOSTAT
IRRIGATION SYSTEM TO BE PROVIDED BY ALLOWANCE. ALL PLANTS ADJACENT TO STRUCTURE TO BE WATERED BY DRIP IRRIGATION
TOILET TO BE 1.6 GPF MAX / 1.28 PREFERRED SHOWER HEAD - 1.75 GPM
BATHROOM SINK - .5 GPM
KITCHEN SINK 1.5 GPM

INDEX OF DRAWINGS

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 - A-3 ROOF PLAN AND DETAILS
 - A-4.1 EXTERIOR ELEVATIONS
 - A-4.2 EXTERIOR ELEVATIONS
 - A-5 BUILDING SECTIONS
- STRUCTURAL**
- S-1 FOUNDATION PLAN
 - S-2 ROOF FRAMING PLAN
 - S-3 STRUCTURAL NOTES & DETAILS
 - S-4 WIND PRESSURES



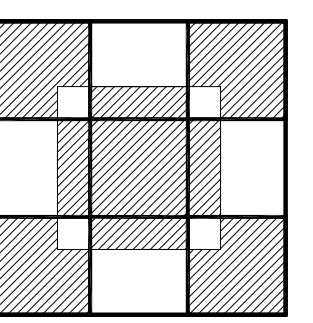
Colomé
& Associates, Inc.
AA 0003439
530 24TH STREET
WEST PALM BEACH
FLORIDA, 33407
(561) 833-9147
Architect: Elizabeth A. G. Colomé
REG. NUMBER: AR 0014839



PBC-DES
CAMERON
RESIDENCE

275 NW 12TH AVENUE
SOUTH BAY, FL

PROJECT NO.
201739



SHEET TITLE
COVER

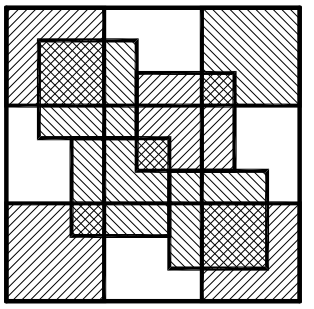
REVISIONS:

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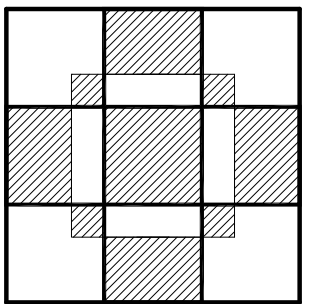
DATE
6-27-19
DRAWN BY:
HDM
CHECKED BY:
EAC

SHEET
NUMBER:

COVER



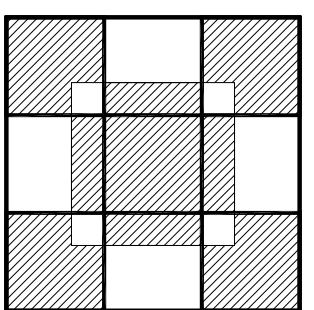
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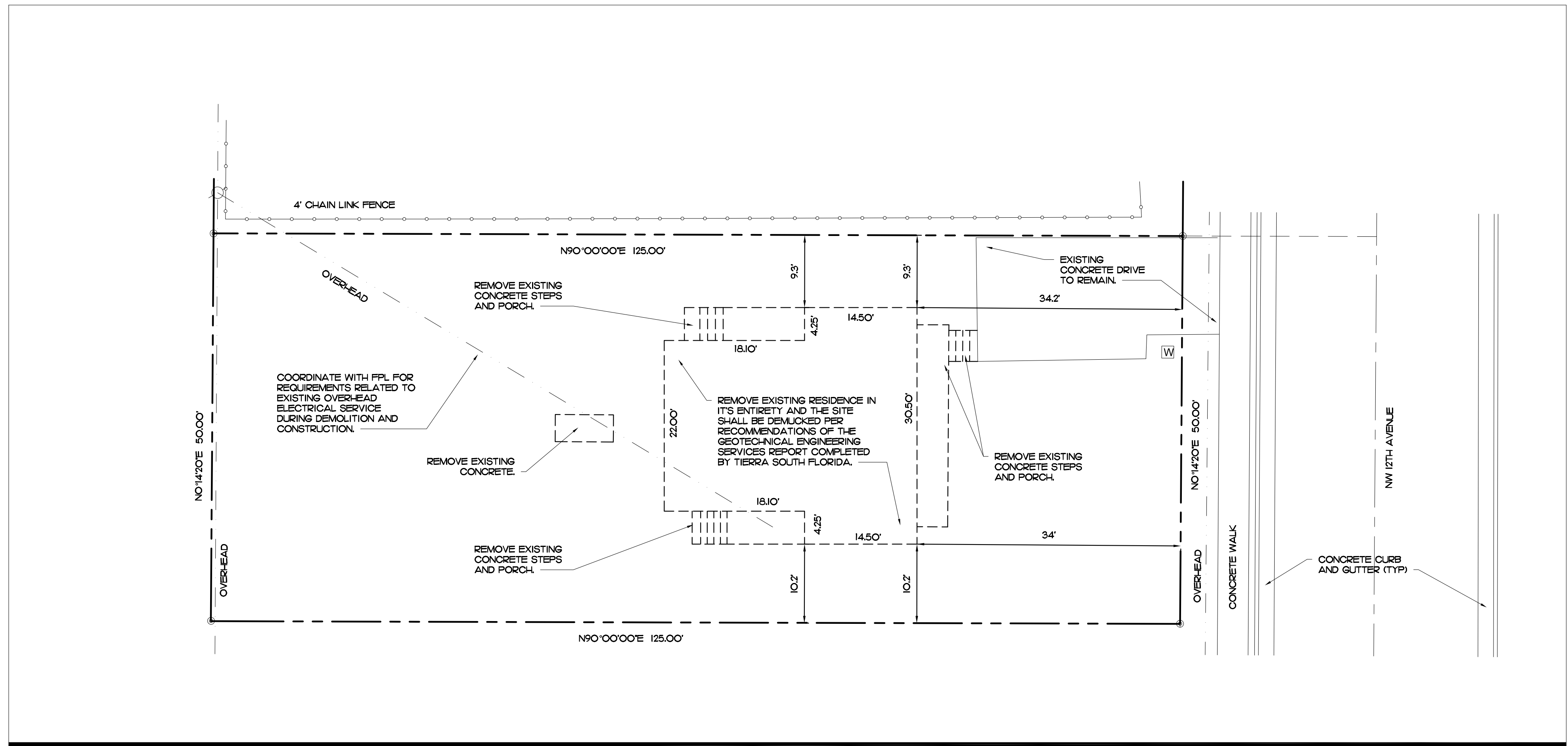
SHEET TITLE
**SITE PLAN /
DEMOLITION
SITE PLAN**

REVISIONS:

DATE
6-27-19
DRAWN BY:
HDM
CHECKED BY:
EAC

SHEET
NUMBER:

SP-1



DEMOLITION SITE PLAN

SCALE: 1" = 10'

ZONING DATA:

ADDRESS:
275 NW 12TH AVENUE
SOUTH BAY, FLORIDA

LEGAL DESCRIPTION:
NORTH ONE HALF OF LOT 40, THE CROSBY SUBDIVISION,
PLAT BOOK 21, PAGE 34, PALM BEACH COUNTY FLORIDA.
CONTAINING 0.14 ACRES, MORE OR LESS

FLOOD PLAIN:
THIS PROPERTY IS LOCATED IN FLOOD ZONE AE, ACCORDING
TO F.I.R.M. (FLOOD INSURANCE RATE MAP) NO. 12099CO46IF,
DATED OCTOBER 5, 2017.

ZONING CLASSIFICATION:
R-1 SINGLE FAMILY DWELLING DISTRICT

BUILDING/SITE DATA:

LOT WIDTH:
REQUIRED: 50' MINIMUM
ACTUAL: 50'

LOT AREA:
REQUIRED: 8,000 SF MIN (EXEMPT IF PLAT WAS
RECORDED PRIOR TO ADOPTION OF ORDINANCE
6,250 SF (EXISTING CONDITION))
ACTUAL:

BUILDING SQUARE FOOTAGE:
AIR CONDITIONED SQUARE FOOTAGE = 1,266 SF
PORCHES = 394 SF

LOT COVERAGE:
REQUIRED: 35% MAXIMUM
ACTUAL: FOOTPRINT + BUILDING + PORCHES = 1,660 SF
(1,660 / 6,250) = 26.6%

FRONT SETBACK (EAST):
REQUIRED: 25' MINIMUM
ACTUAL: 26' (SEE SITE PLAN)

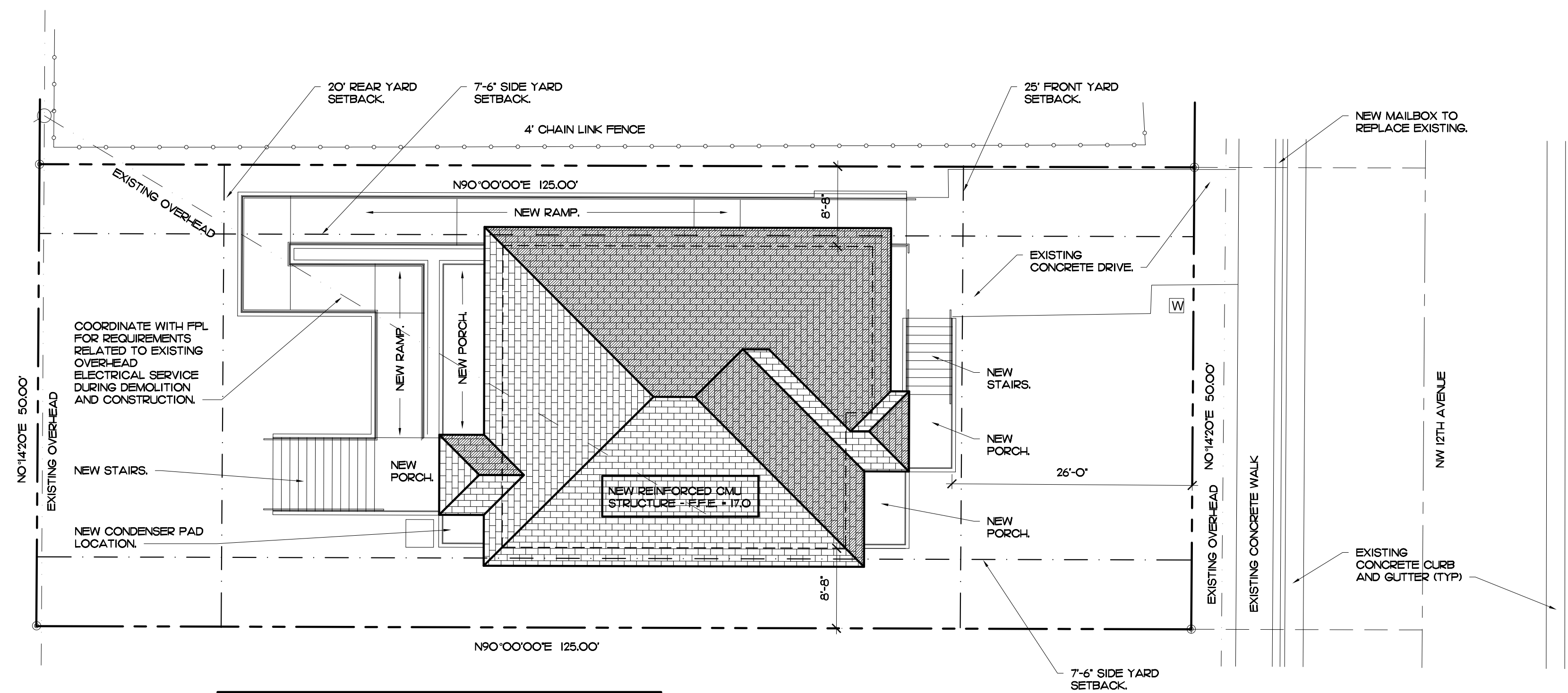
SIDE SETBACK (NORTH):
REQUIRED: 7'-6" MINIMUM
ACTUAL: 8'-8" (SEE SITE PLAN)

SIDE SETBACK (SOUTH):
REQUIRED: 7'-6" MINIMUM
ACTUAL: 8'-8" (SEE SITE PLAN)

REAR SETBACK (WEST):
REQUIRED: 20' MINIMUM
ACTUAL: GREATER THAN 20' (SEE SITE PLAN)

BUILDING HEIGHT:
REQUIRED: 2 STORIES/30' MAXIMUM
ACTUAL: 1 STORY/18'-1" (SEE 3/A-5)

ZONING AND BUILDING/SITE DATA



NOTES:
1. SITE TO BE GRADED SO THAT ALL WATER SHEDS TO FRONT AND
BACK OF SITE WITH-OUT ANY DRAINAGE ONTO ADJACENT PROPERTIES.
2. PROVIDE NEW SOD AND LANDSCAPING AFTER COMPLETION OF
CONSTRUCTION OF BUILDING, PORCHES, STAIRS AND RAMPS.
LANDSCAPING TO COMPLY WITH SOUTH BAY ZONING REQUIREMENTS.
LANDSCAPING TO INCLUDE AN IRRIGATION SYSTEM PROVIDING 100%
HEAD TO HEAD COVERAGE.

SITE PLAN

SCALE: 1" = 10'

ROOM FINISH SCHEDULE

MK	SPACE	FLOOR	WALL FINISHES	BASE	CEILING		REMARKS
					MAT'L	HGT	
101	ENTRY	PT1	PAINT	WD	GYP	9'-4"	
102	KITCHEN	PT1	PAINT	WD	GYP	9'-4"	EPOXY PAINT AT WET WALLS
103	DINING ROOM	PT1	PAINT	WD	GYP	9'-4"	
104	LIVING ROOM	PT1	PAINT	WD	GYP	9'-4"	
105	HALLWAY	PT1	PAINT	WD	GYP	9'-4"	
106	BEDROOM	PT2	PAINT	WD	GYP	9'-4"	
107	BATHROOM	PT3	EPOXY PAINT/CT	CT BASE	MR GYP	9'-4"	8'-0" CT WAINSCOT ①
108	MASTER BATH	PT3	EPOXY PAINT/CT	CT BASE	MR GYP	9'-4"	8'-0" CT WAINSCOT ①
109	MASTER BEDROOM	PT2	PAINT	WD	GYP	9'-4"	
110	LAUNDRY ROOM	PT2	PAINT	WD	GYP	9'-4"	

FINISH LEGEND:

- PT# - COLOR AND SIZE OF PORCELAIN TILE
- PT - PORCELAIN TILE - SEE SPECIFICATIONS
- PT BASE - PORCELAIN TILE BASE
- CT - CERAMIC WALL TILE
- GYP - 5/8" GYPSUM CEILING BOARD AND 1/2" GYPSUM WALL BOARD
- PAINTING WALL AND CEILING PAINTS.
- CONTRACTOR TO PROVIDE | COLOR PER ROOM / MULTIPLE COLORS FOR ENTIRE HOME ON EACH WALL - CEILINGS TO BE PAINTED WHITE / TRIM TO BE SEMI GLOSS PAINTED WOOD (WHITE)
- CEILINGS: ALL CEILINGS TO BE KNOCK-DOWN FINISH - SEE SPECIFICATIONS
- SOFFITS TO BE STUCCO ON GALV. HIGH RIBBED METAL LATH.
- MR - MOISTURE RESISTANT GWB
- WD - PAINTED WOOD BASE

NOTE:
① SEE INTERIOR ELEVATIONS SHEET A-2 FOR LOCATIONS.

DOOR SCHEDULE

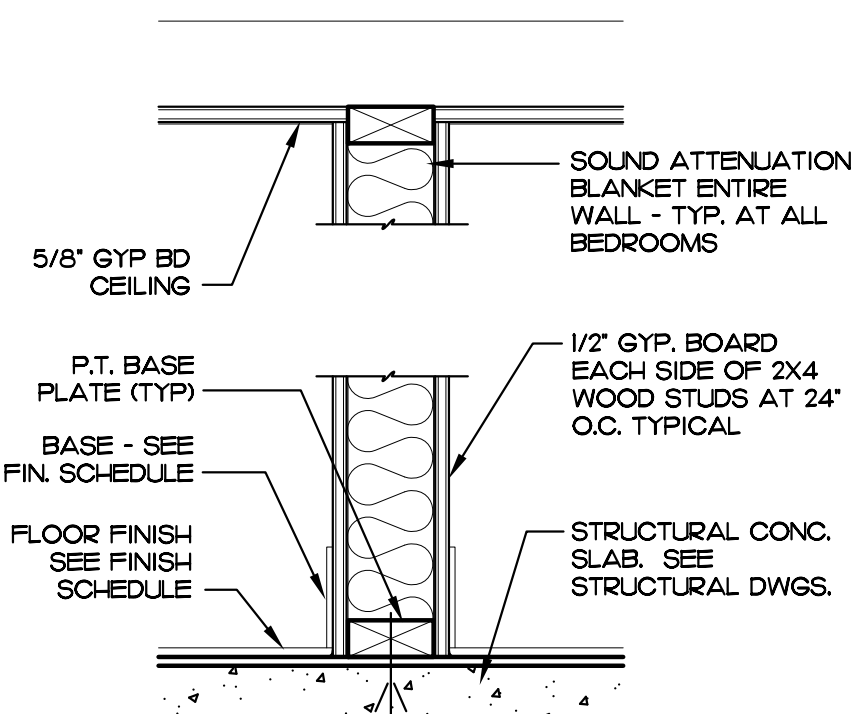
DOOR HWDR GROUP	DR #	DR SIZE	DOOR TYPE	DOOR		FRAME		REMARKS
				THICK	MATERIAL/FINISH	MATERIAL	FINISH	
-	101	3'-0"x7'-0"	E 1	1 3/4"	MTL PNT	MTL PNT		EXTERIOR - DECORATIVE W/LITE
-	102	3'-0"x7'-0"	E 1	1 3/4"	MTL PNT	MTL PNT		EXTERIOR - DECORATIVE W/LITE
-	103	2'-8"x6'-8"	A 2	1 3/4"	SCW PNT	WD PNT		6-PANEL
-	104	6'-0"x6'-8"	B -	1"	BI-FOLD PNT	MTL PNT		BI-FOLD
-	105	2'-0"x6'-8"	C -	1"	BI-FOLD PNT	MTL PNT		BI-FOLD
-	106	2'-8"x6'-8"	A 2	1 3/4"	SCW PNT	WD PNT		6-PANEL
-	107	5'-0"x6'-8"	B -	1"	BI-FOLD PNT	MTL PNT		BI-FOLD
-	108	3'-0"x6'-8"	A 2	1 3/4"	SCW PNT	WD PNT		6-PANEL
-	109A	2'-0"x6'-8"	C -	1"	BI-FOLD PNT	MTL PNT		BI-FOLD, MTL2
-	109B	2'-0"x6'-8"	C -	1"	BI-FOLD PNT	WD PNT		BI-FOLD
-	110	3'-0"x6'-8"	A 2	1 3/4"	SCW PNT	WD PNT		6-PANEL
-	111	5'-0"x6'-8"	B -	1"	BI-FOLD PNT	MTL PNT		BI-FOLD
-	112	5'-0"x6'-8"	B -	1"	BI-FOLD PNT	MTL PNT		BI-FOLD

DOOR LEGEND:

- MTL - GALV. HOLLOW METAL DOOR, IMPACT RATED
- MTL2 - METAL INTERIOR DOOR
- SC WD - SOLID CORE WOOD DOOR
- WD - WOOD
- NOTE: DOOR HARDWARE TO COMPLY WITH NOIA. PROVIDE STANDARD LEVEL 2 GRADE 'D' SCL-LAGE OR APPROVED EQUAL LOCKSETS AT EACH DOOR.

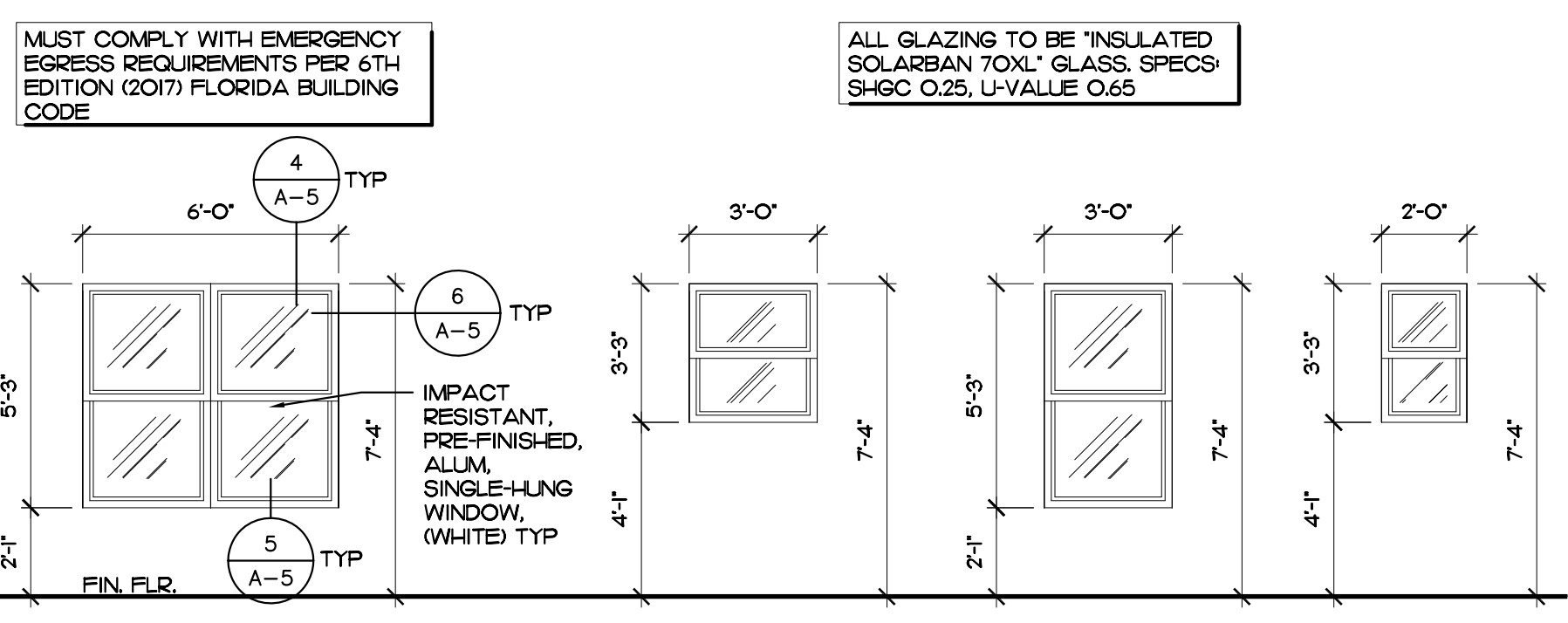
SCHEDULES

N.T.S. ①



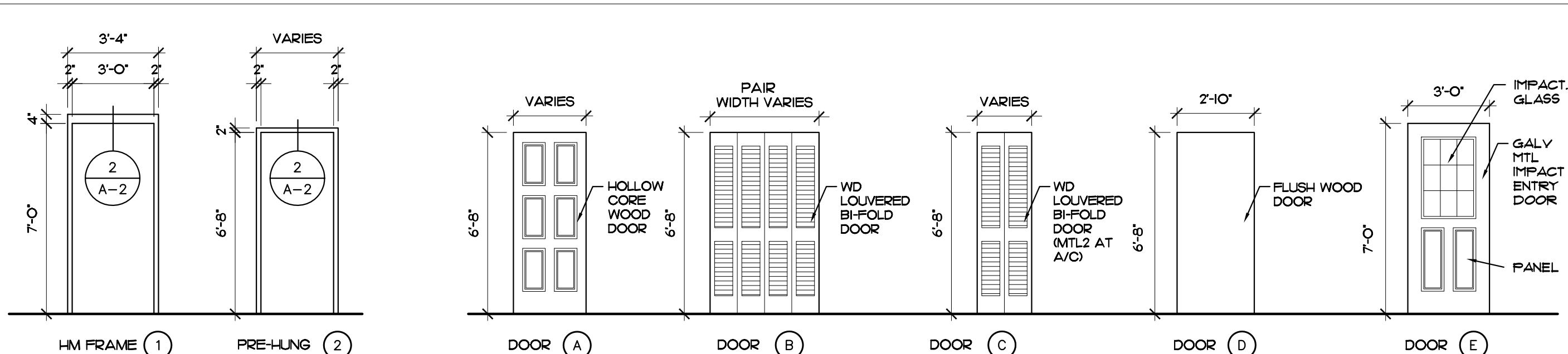
TYP. INTERIOR WALL SCALE: 1/2" = 1'-0"

SCALE: 1/2" = 1'-0" ④



WINDOW TYPES SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0" ②

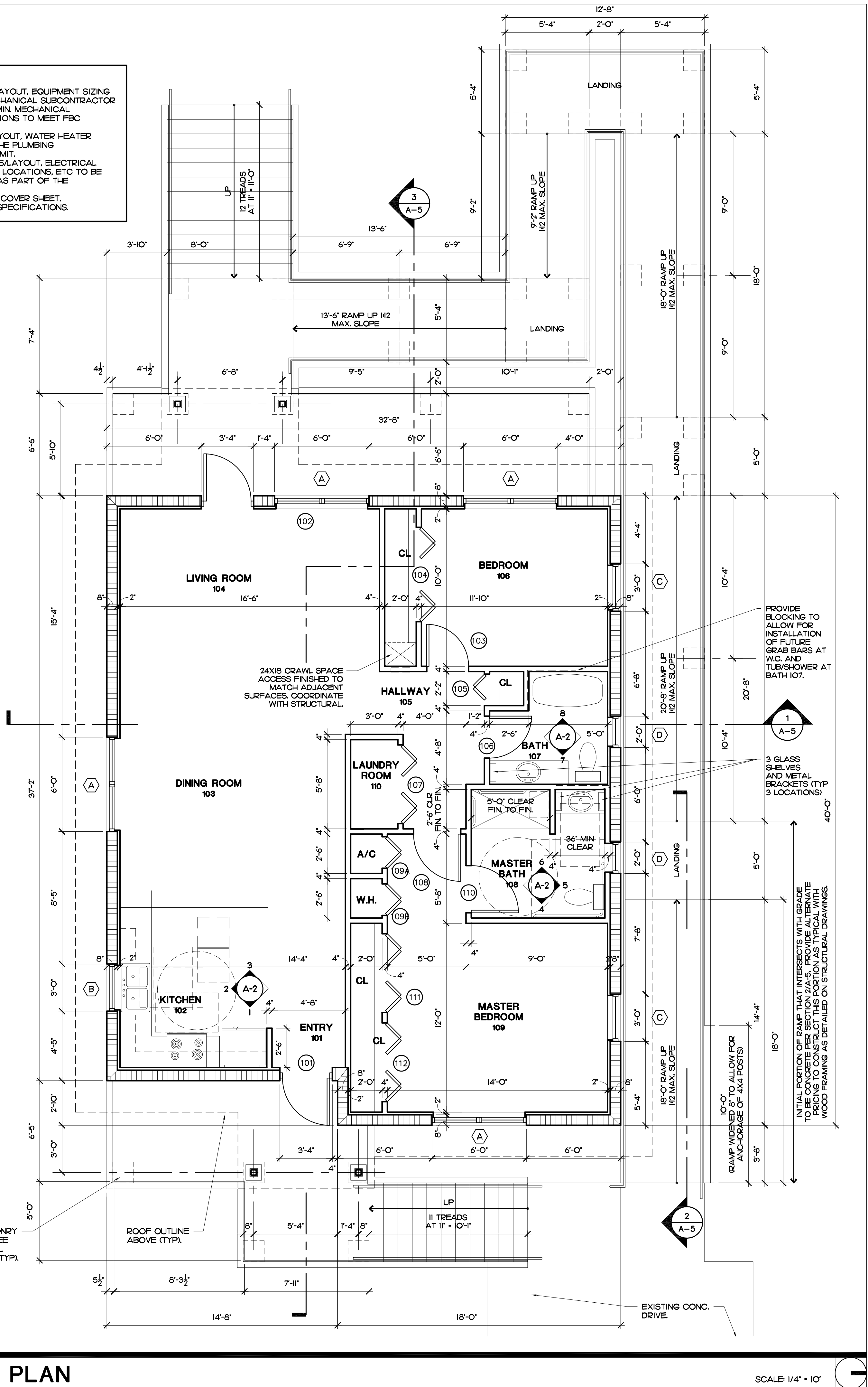


DOOR AND FRAME TYPES SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0" ③

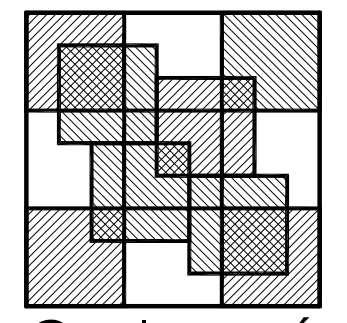
NOTES:
1. MECHANICAL DRAWINGS SHOWING DUCT SIZES/LAYOUT, EQUIPMENT SIZING CALCULATIONS, ETC TO BE PROVIDED BY THE MECHANICAL SUBCONTRACTOR AS PART OF THE MECHANICAL PERMIT. SEER = 16 MIN. MECHANICAL SUBCONTRACTOR TO PROVIDE ENERGY CALCULATIONS TO MEET FBC RESIDENTIAL REQUIREMENTS.
2. PLUMBING DRAWINGS SHOWING PIPING SIZES/LAYOUT, WATER HEATER SIZING CALCULATIONS, ETC TO BE PROVIDED BY THE PLUMBING SUBCONTRACTOR AS PART OF THE PLUMBING PERMIT.
3. ELECTRICAL DRAWINGS SHOWING CONDUIT SIZES/LAYOUT, ELECTRICAL PANEL SIZING CALCULATIONS, CIRCUITING, OUTLET LOCATIONS, ETC TO BE PROVIDED BY THE ELECTRICAL SUBCONTRACTOR AS PART OF THE ELECTRICAL PERMIT.
4. SEE GREEN BUILDING REQUIREMENTS LISTED ON COVER SHEET. CONTRACTOR REQUIRED TO MEET ALL OF THESE SPECIFICATIONS.

NOTE:
ALL OPEN CMU CELLS AT EXTERIOR WALLS TO BE FILLED WITH VERMICULITE LOOSE FILL MASONRY INSULATION.



FLOOR PLAN SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0" ①



Colomé & Associates, Inc.
AA 0003439
530 24TH STREET
WEST PALM BEACH
FLORIDA, 33407
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Architect: Elizabeth A. G. Colomé
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PBC-DES CAMERON RESIDENCE

275 NW 12TH AVENUE SOUTH BAY, FL

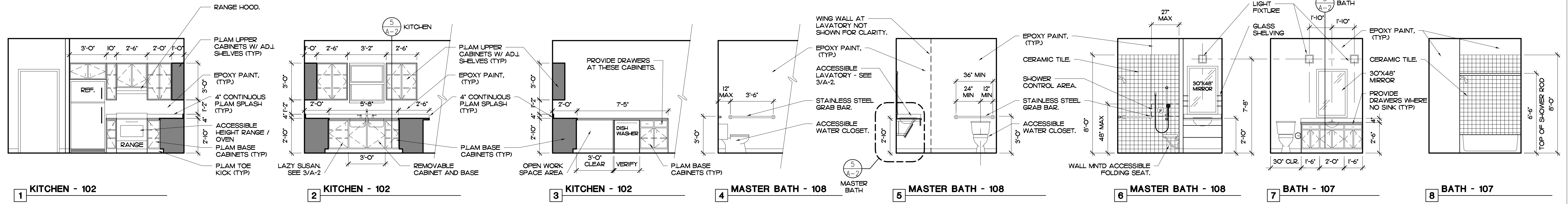
PROJECT NO. 201739

SHEET TITLE FLOOR PLAN AND SCHEDULES

REVISIONS:
DATE: 6-27-19
DRAWN BY: HDM
CHECKED BY: EAC

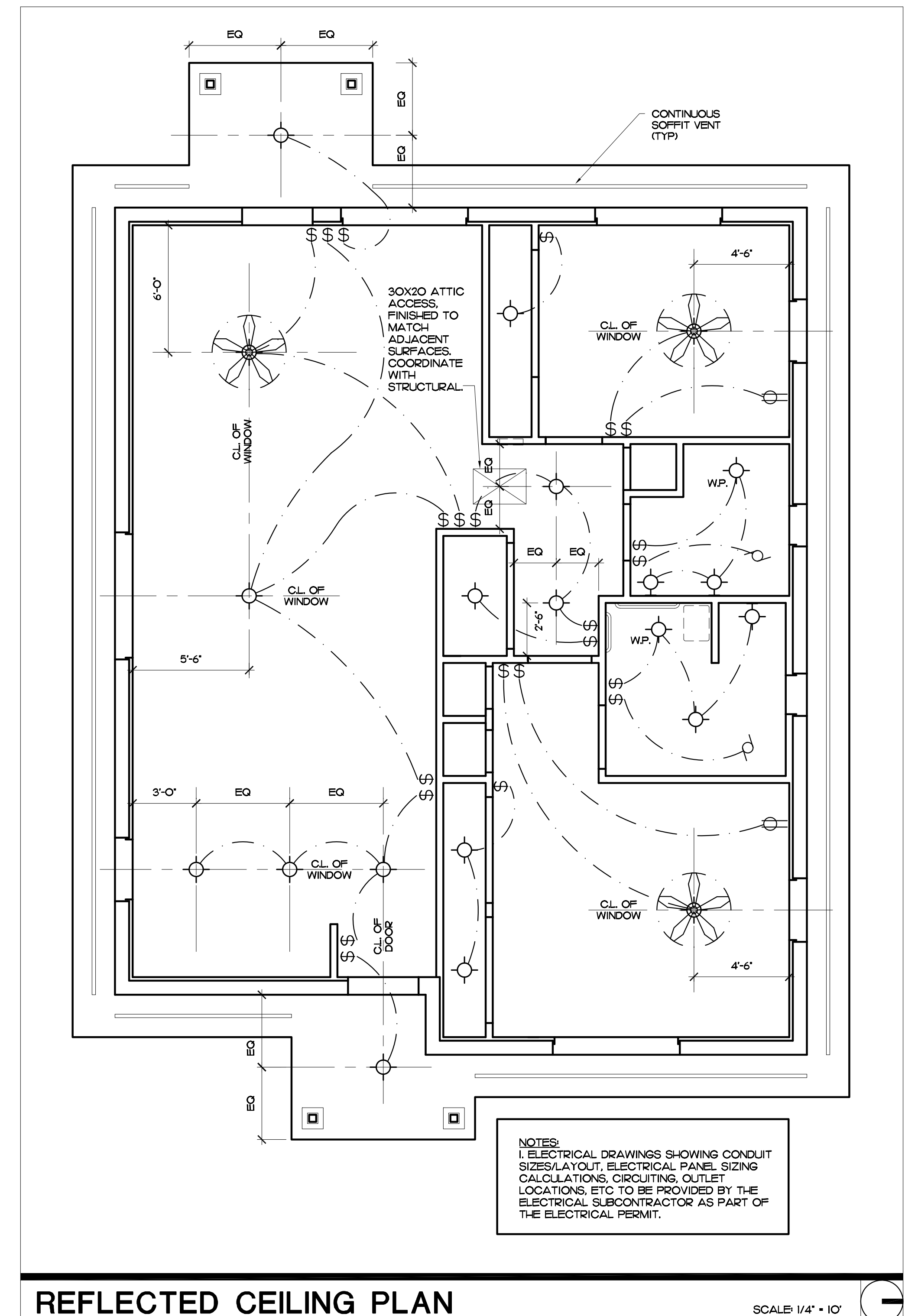
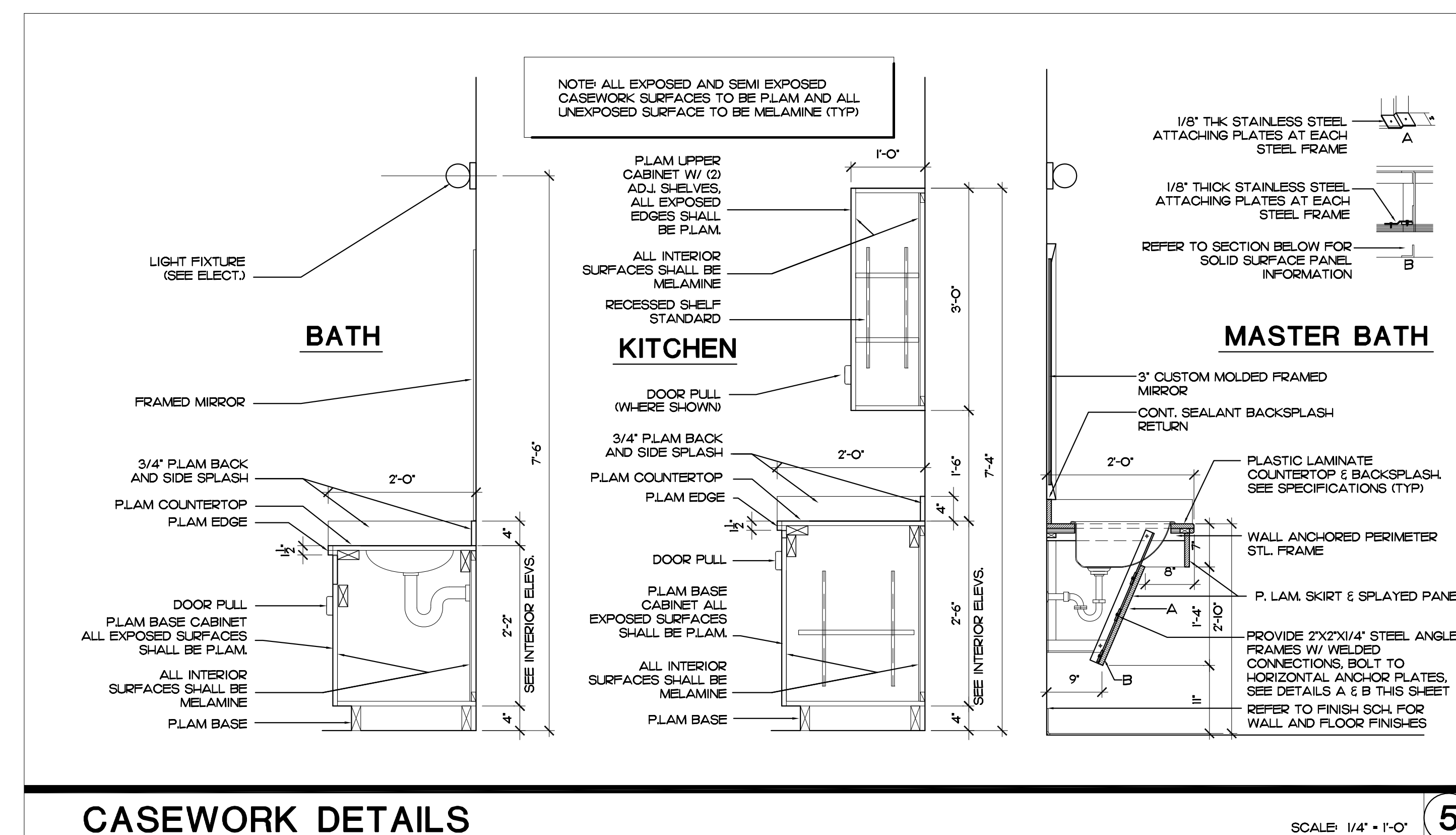
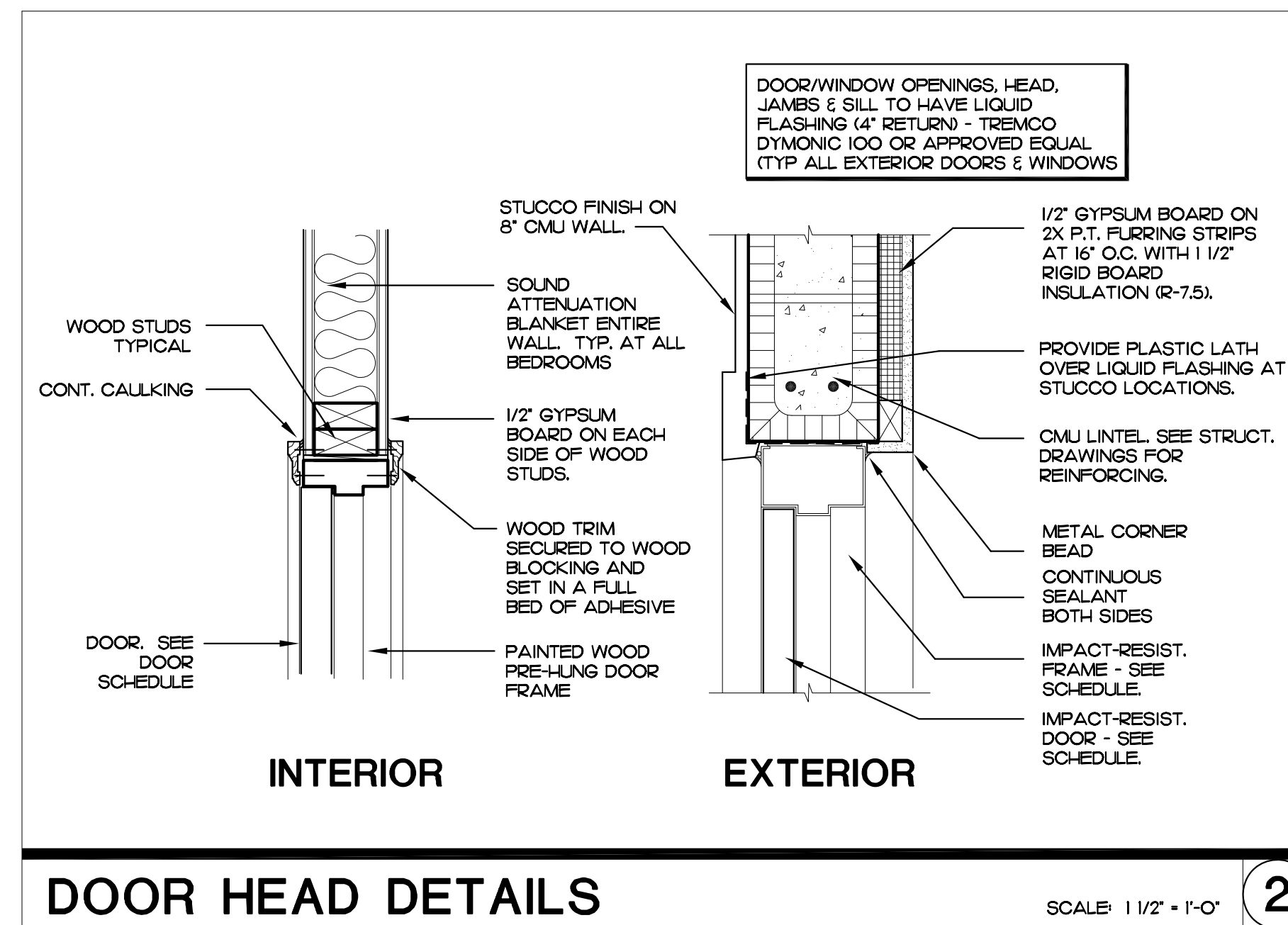
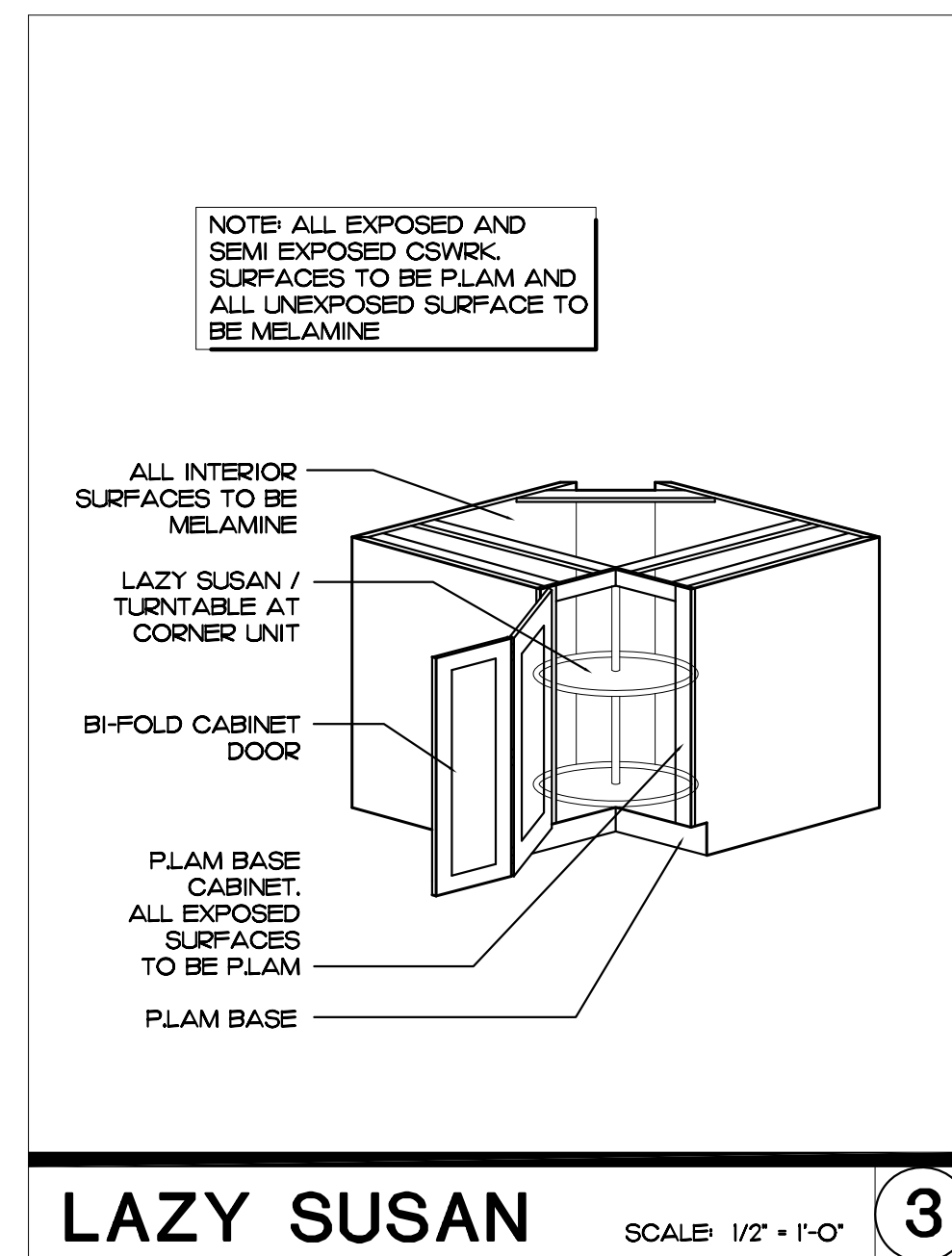
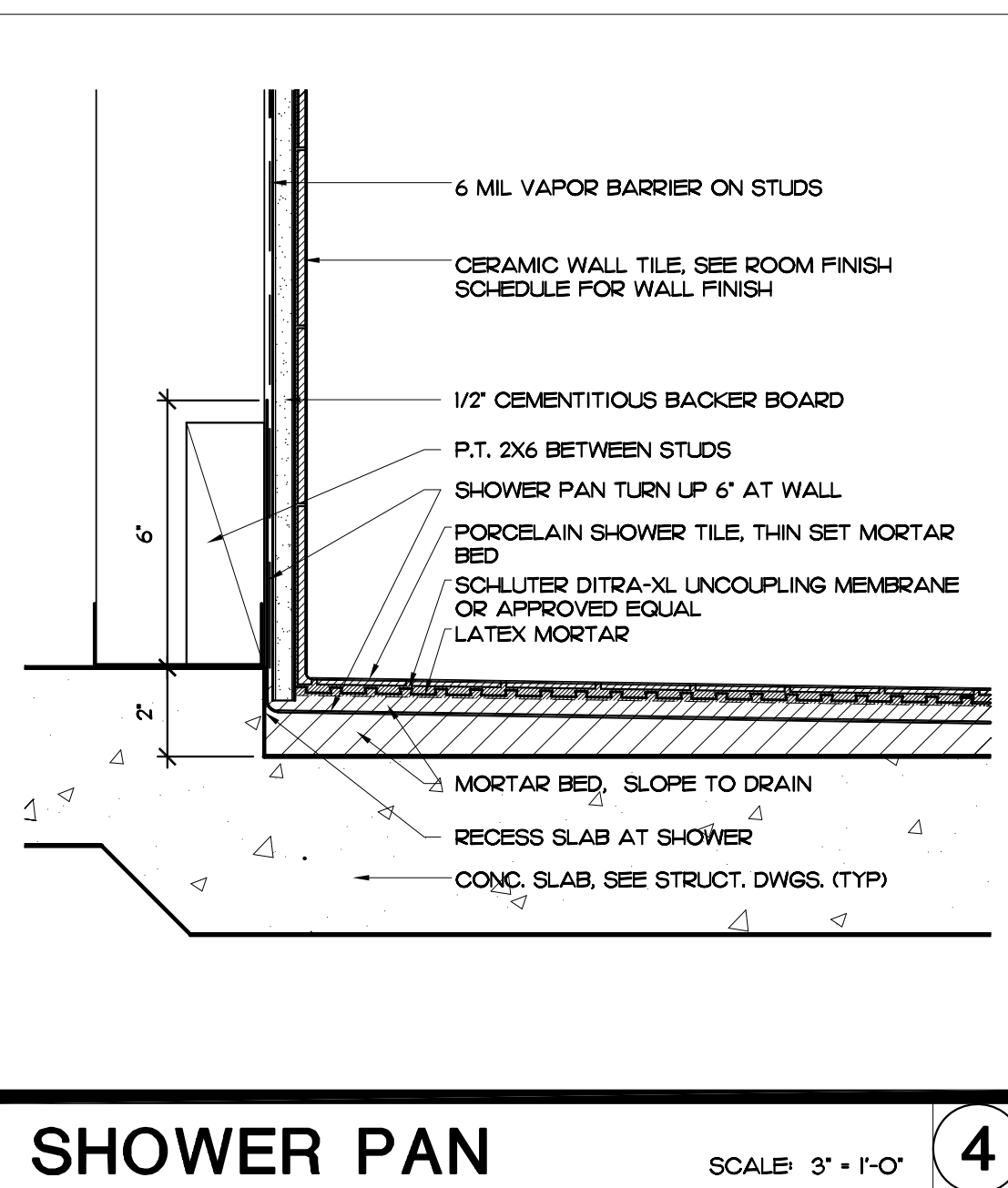
SHEET NUMBER:

A-1



INTERIOR ELEVATIONS

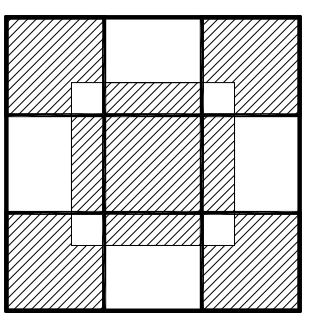
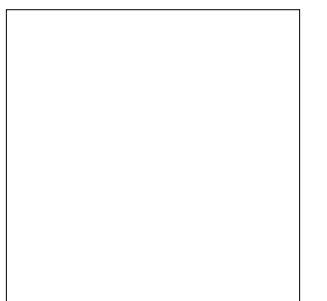
SCALE: 1/4" = 1'-0" **1**



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 275 NW 12TH AVENUE
 SOUTH BAY, FL

PROJECT NO. 201739

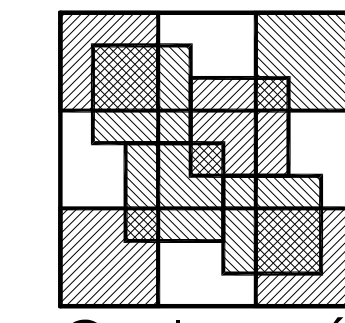


SHEET TITLE
REFLECTED CEILING PLAN AND INTERIOR ELEVATIONS

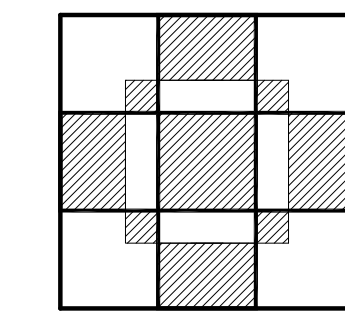
REVISIONS:
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 DATE
6-27-19
 DRAWN BY:
HDM
 CHECKED BY:
EAC

SHEET NUMBER:

A-2



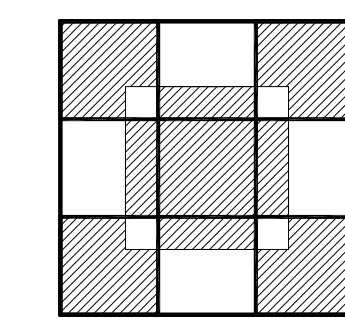
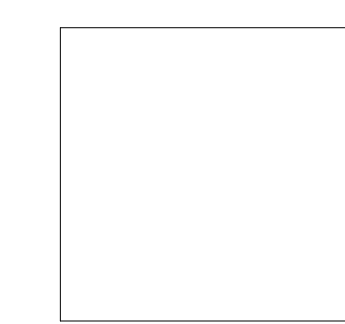
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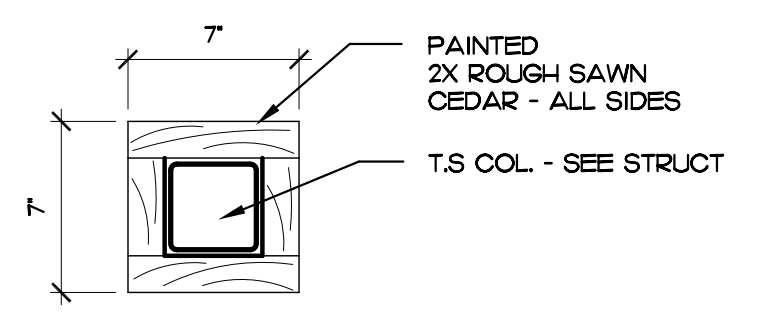
SHEET TITLE
**ROOF PLAN
 AND DETAILS**

REVISIONS:

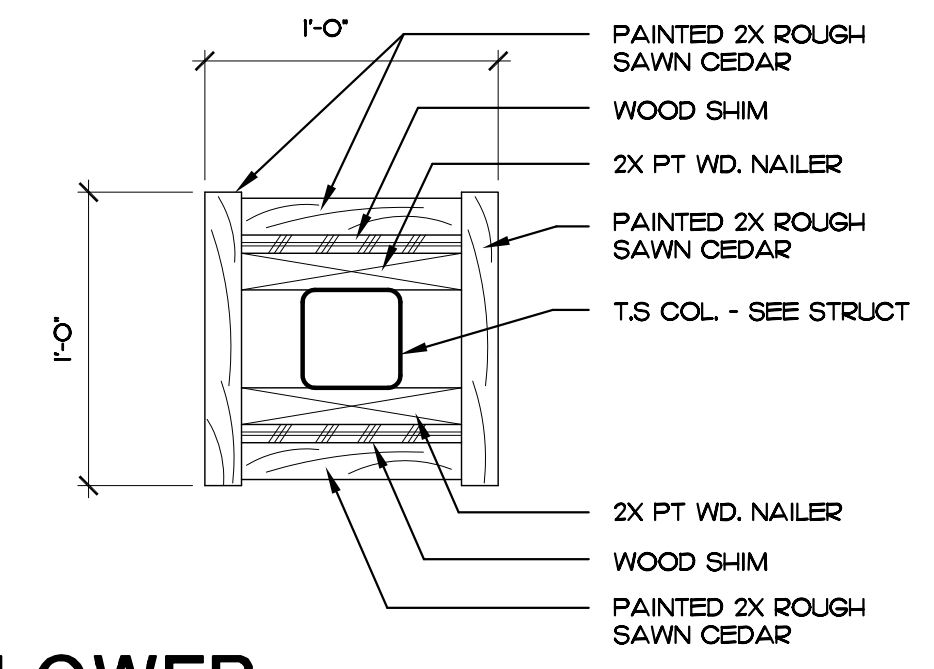
DATE
6-27-19
 DRAWN BY:
HDM
 CHECKED BY:
EAC

SHEET
 NUMBER:

A-3



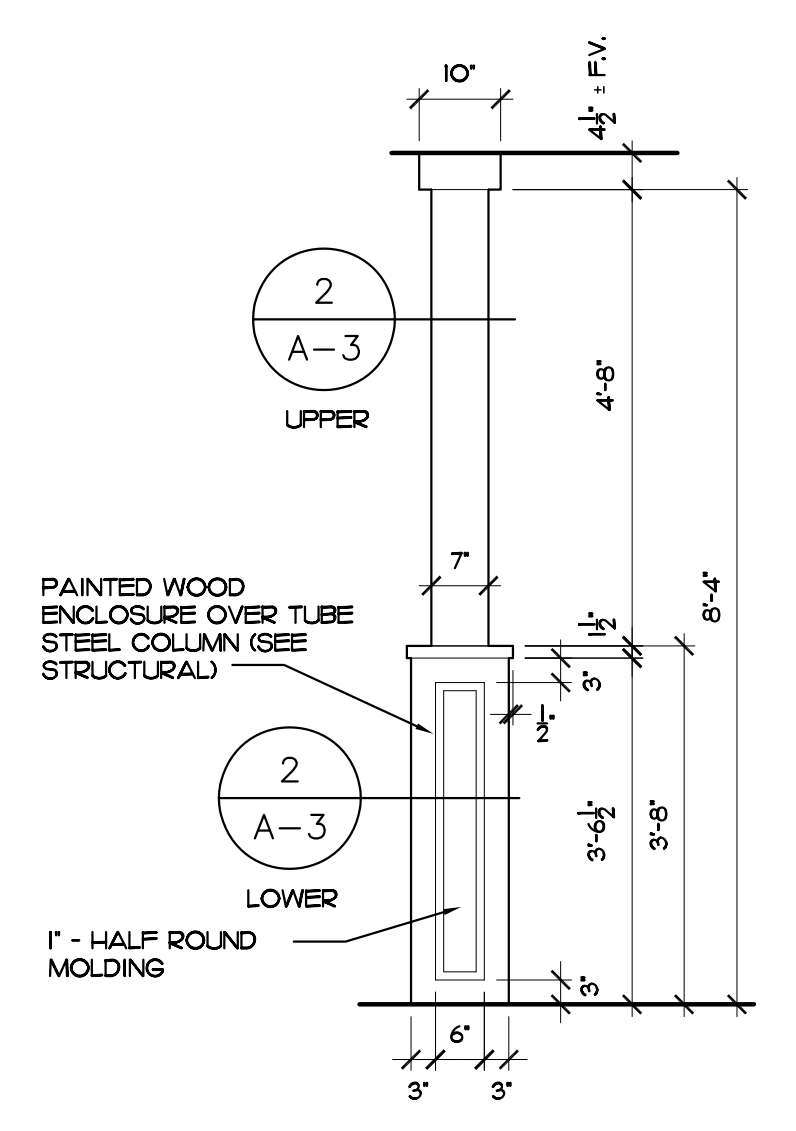
UPPER



LOWER

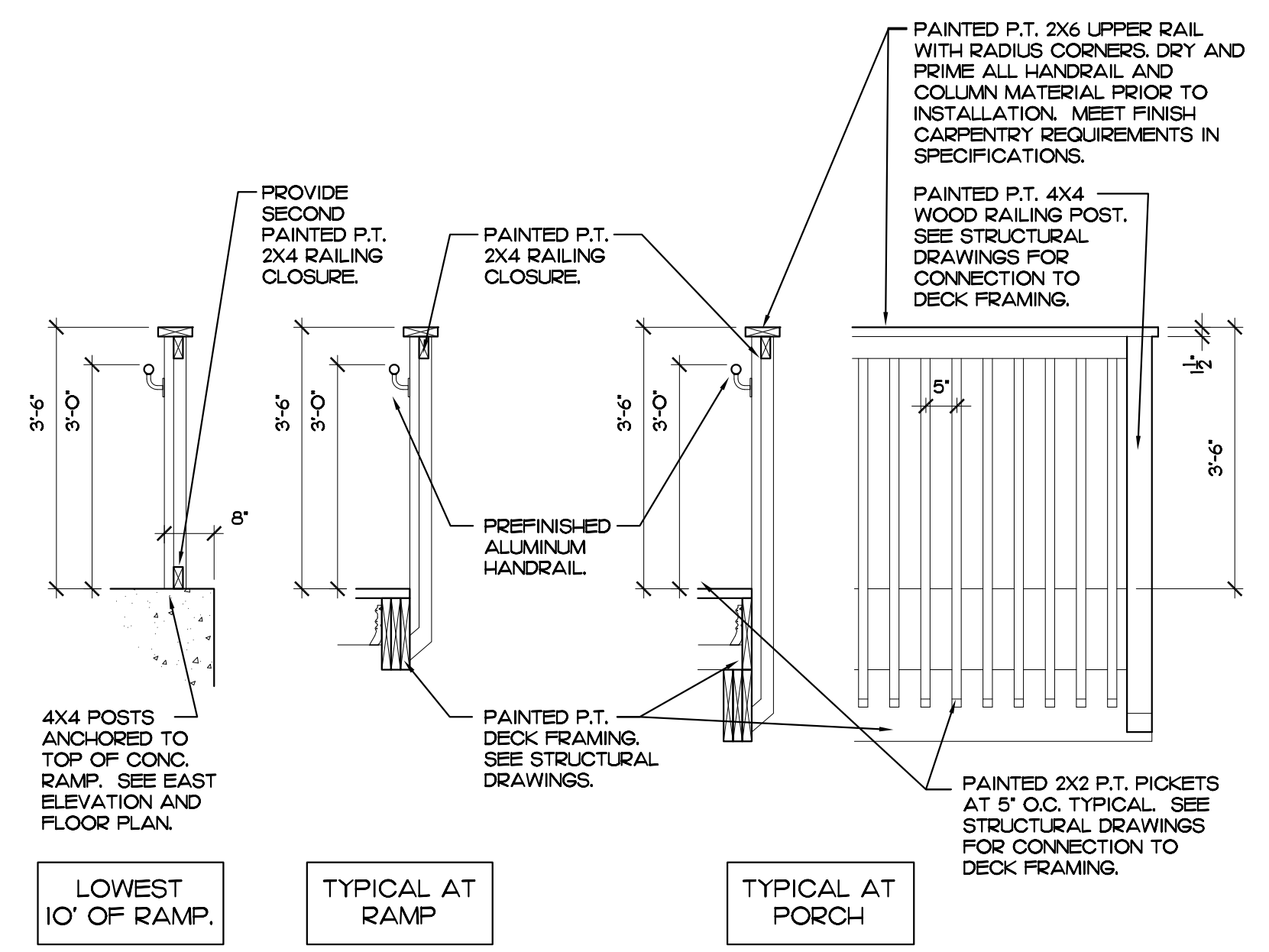
COLUMN ENCLOSURE

SCALE: 1/2" = 10" **2**



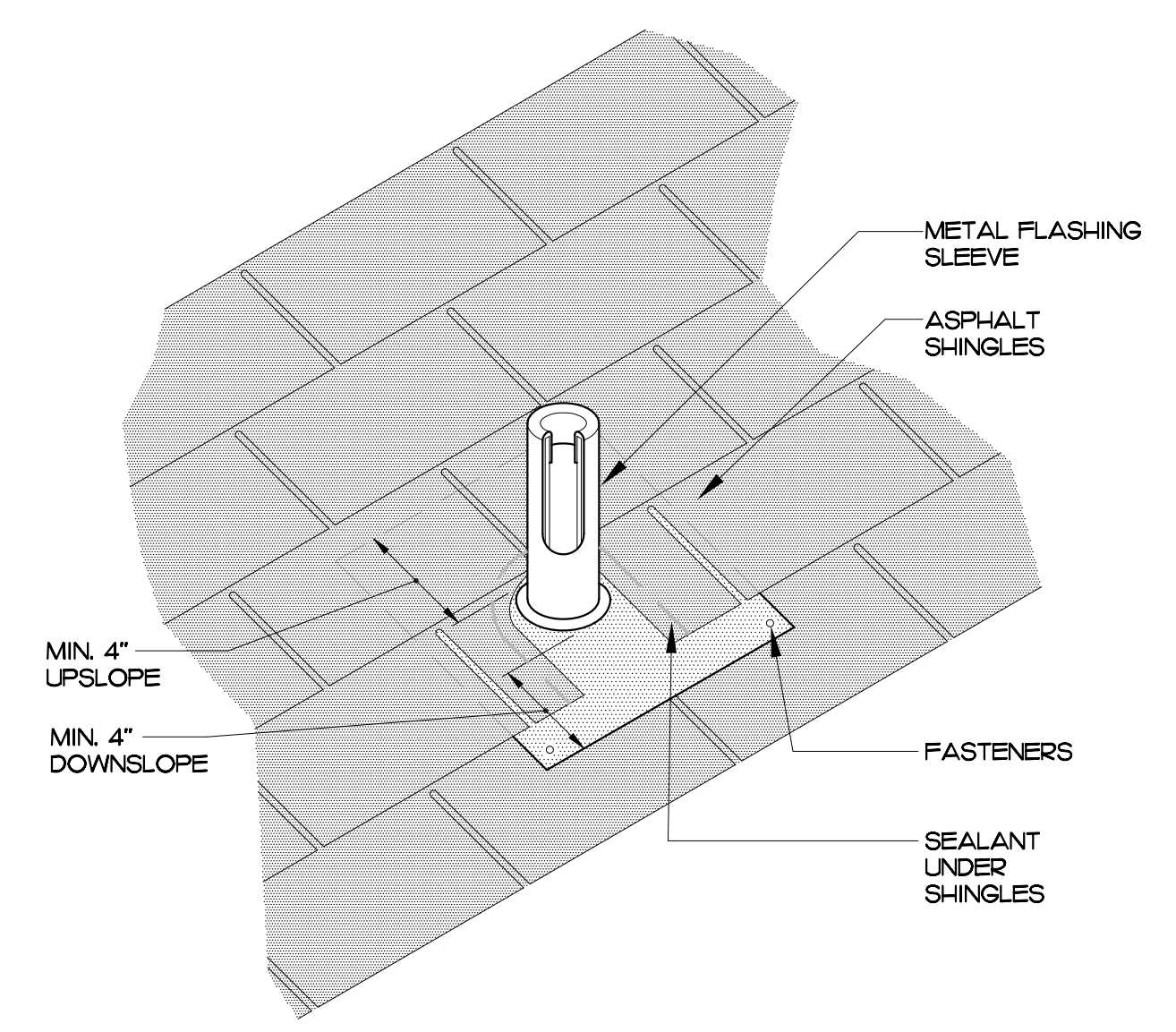
COLUMN ENCLOSURE

SCALE: 1/2" = 10" **4**



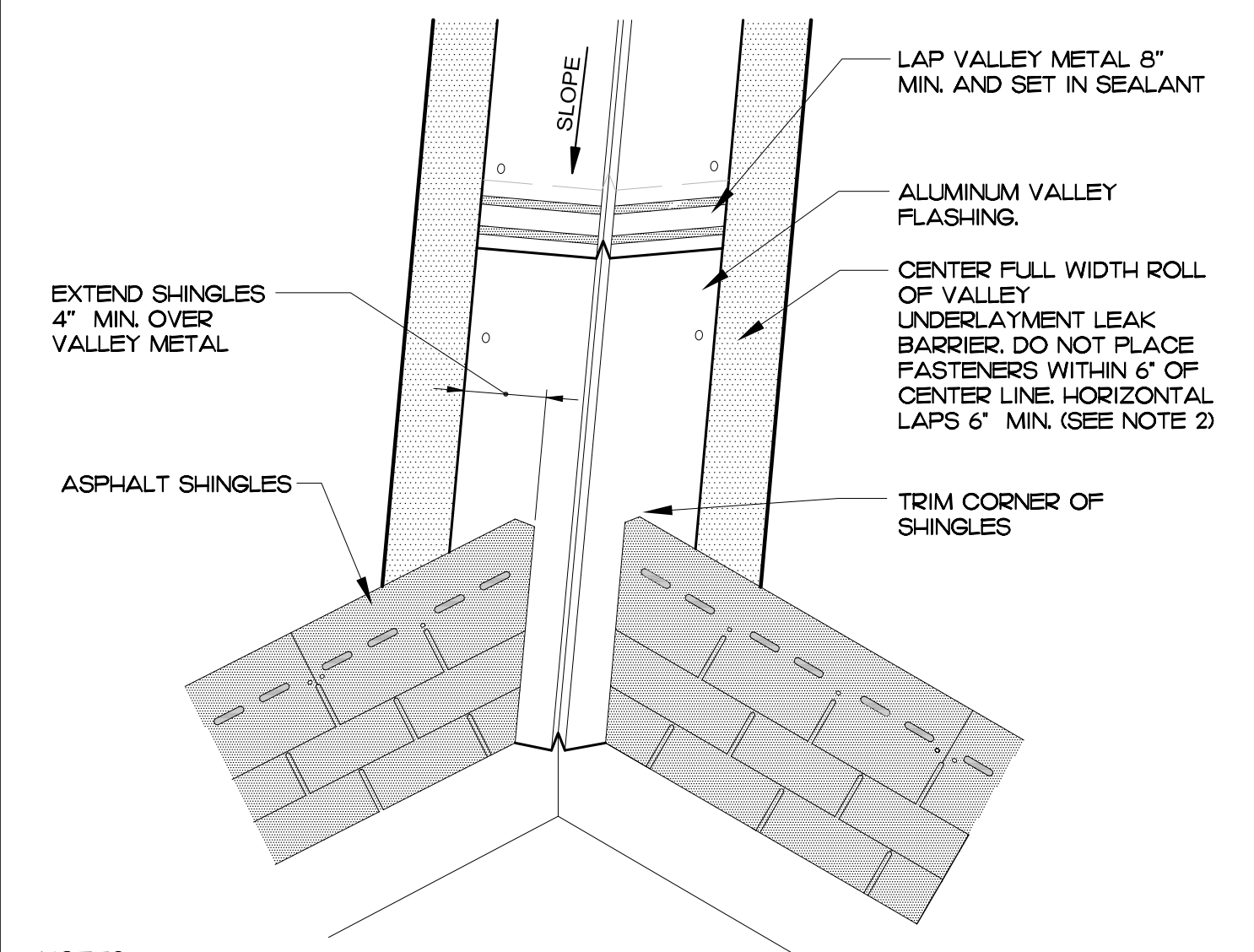
HANDRAIL DETAIL

SCALE: 1/2" = 10" **6**



ROOF VENT DETAIL

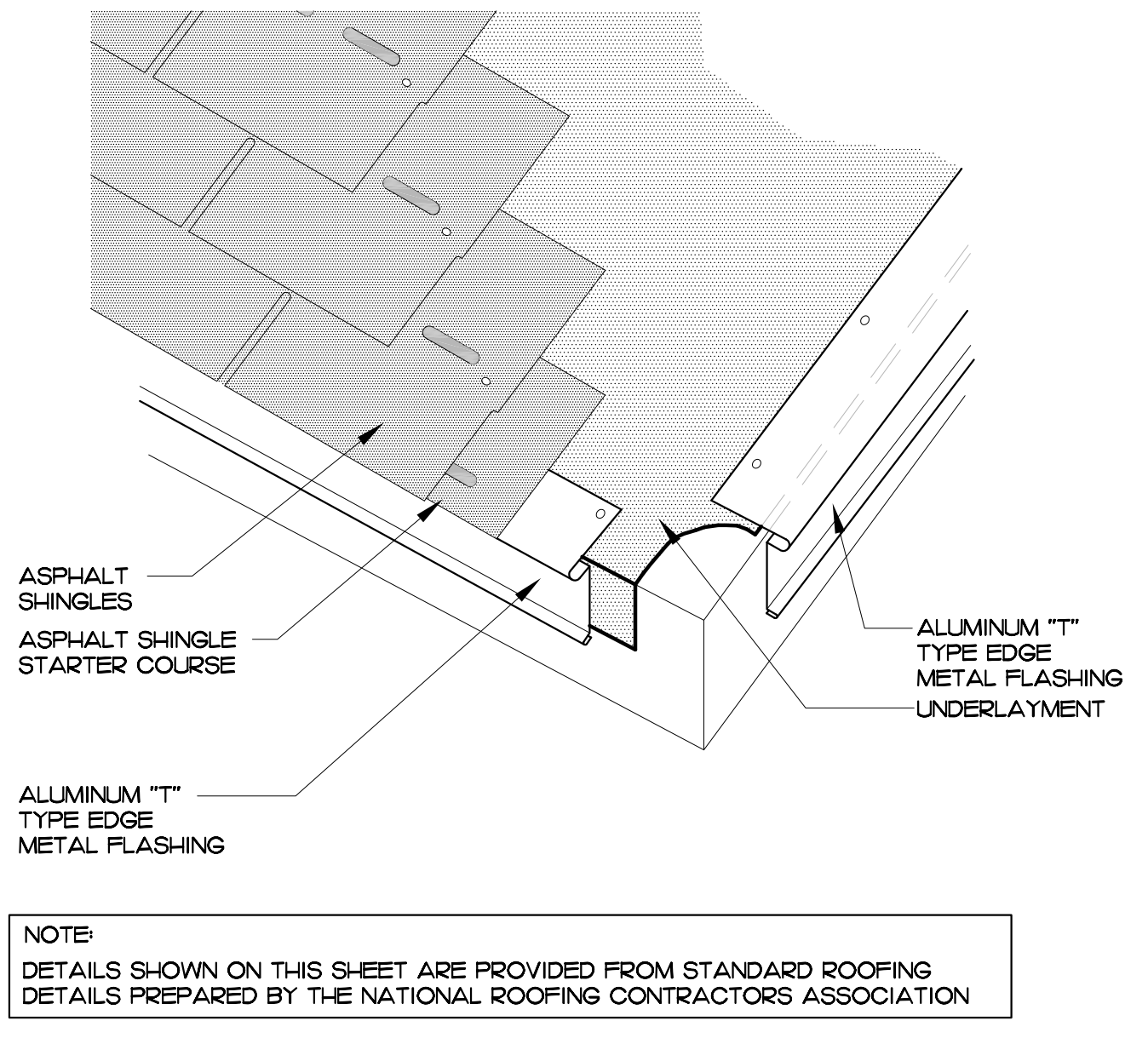
SCALE: 1/2" = 10" **1**



NOTES:
 1. FIELD UNDERLAYMENT NOT SHOWN FOR CLARITY.
 2. SHINGLES SHOULD NOT BE FASTENED THROUGH METAL VALLEY.

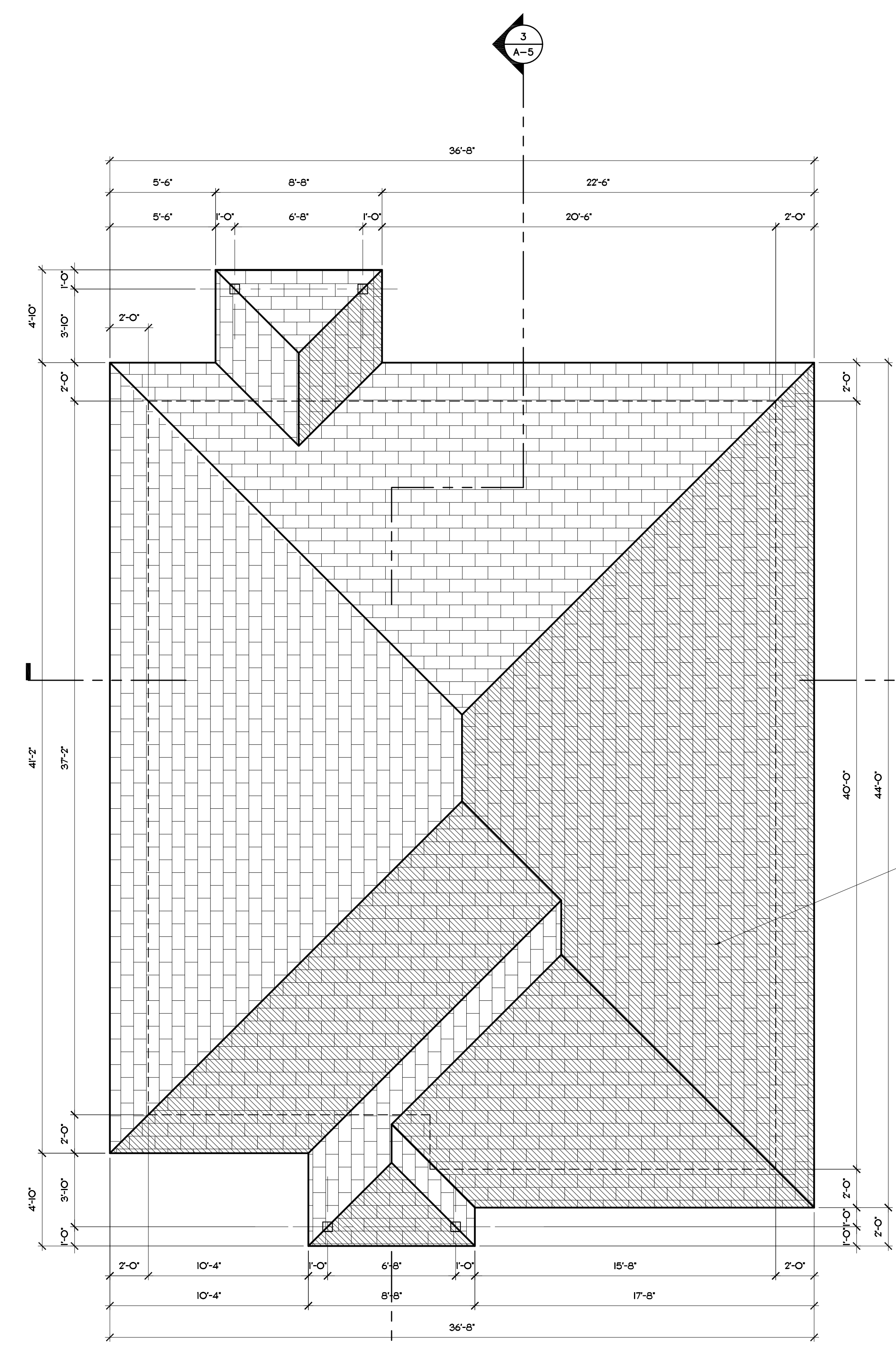
ROOF VALLEY DETAIL

SCALE: 1/2" = 10" **3**



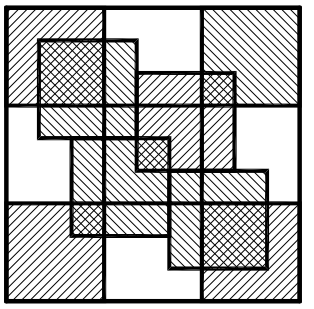
ROOF EAVE DETAIL

SCALE: 1/2" = 10" **5**

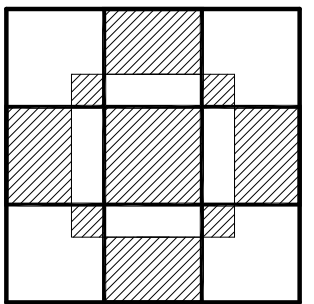


ROOF PLAN

DIMENSIONAL ASPHALT SHINGLES - GAF TIMBERLINE HD* INSTALLED PER NOA #16-081111



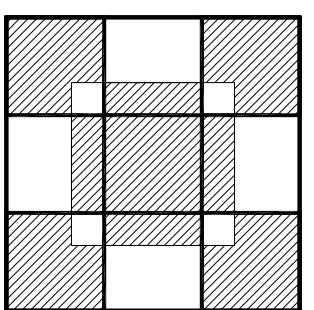
Colomé & Associates, Inc.
 AA 0003439
 530 24TH STREET
 WEST PALM BEACH
 FLORIDA, 33407
 (561) 833-9147
 Architect: Elizabeth A. G. Colomé
 REG. NUMBER: AR 0014839



PBC-DES
**CAMERON
 RESIDENCE**

275 NW 12TH AVENUE
 SOUTH BAY, FL

PROJECT NO.
 201739



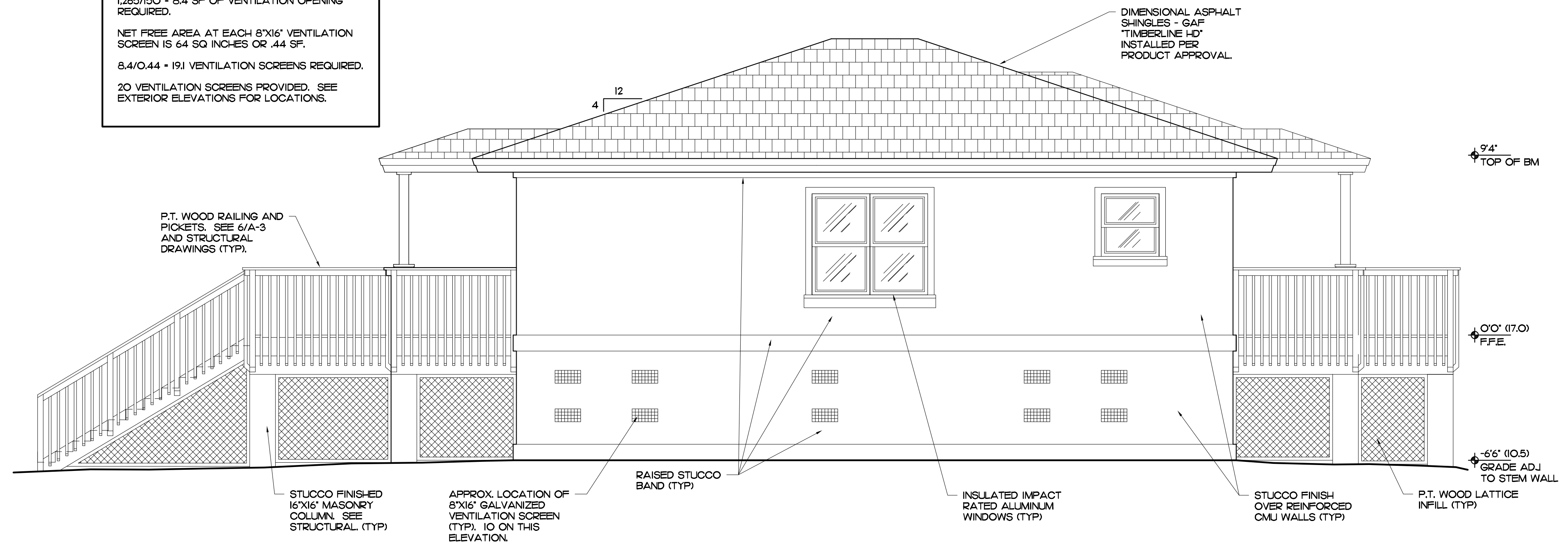
SHEET TITLE:
**EXTERIOR
 ELEVATIONS**

REVISIONS:
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 DATE
6-27-19
 DRAWN BY:
HDM
 CHECKED BY:
EAC

SHEET
 NUMBER:

A-4.1

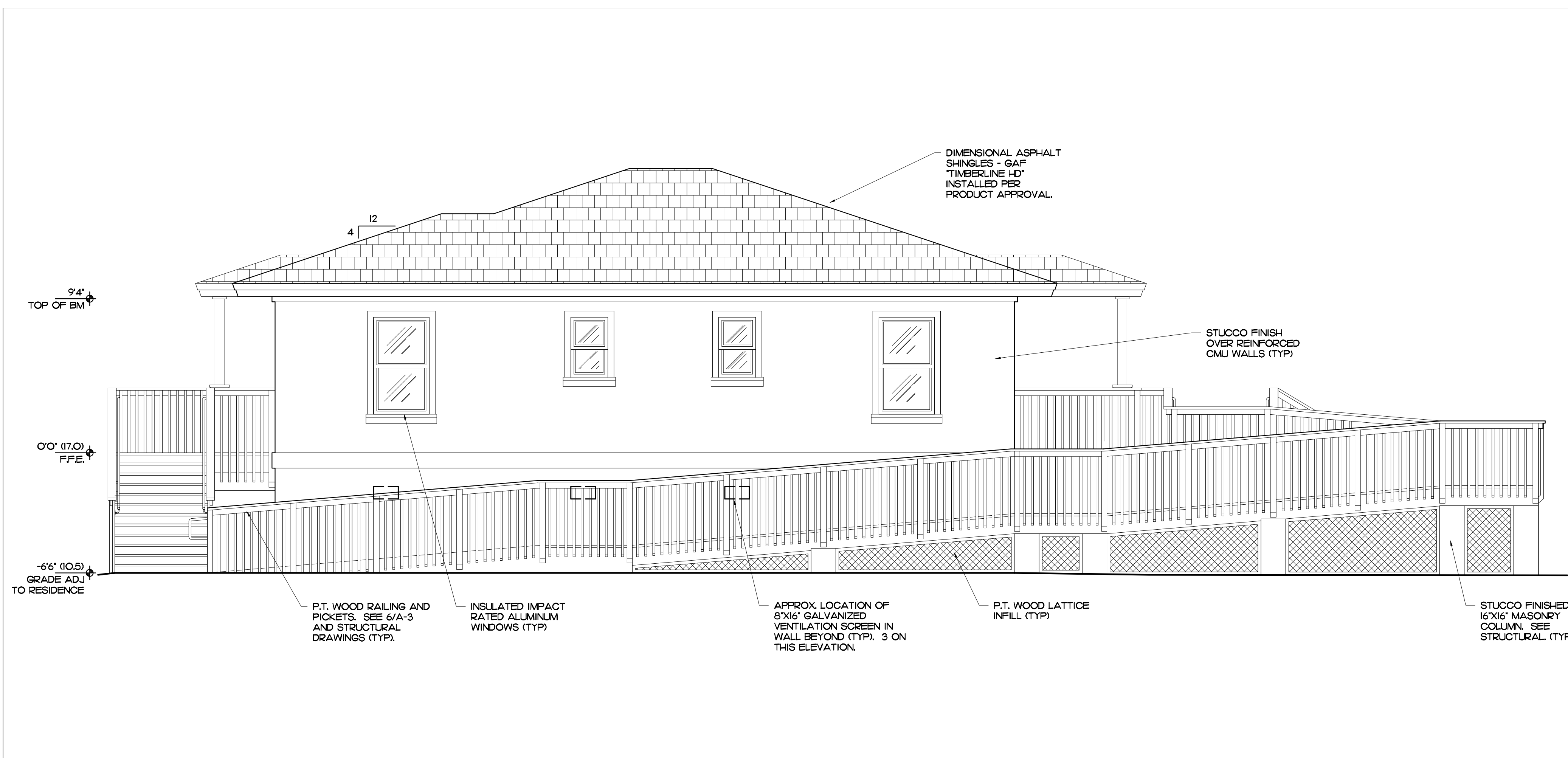
CRAWL SPACE VENTILATION CALCULATIONS:
 AREA OF CRAWL SPACE TO BE VENTILATED IS
 1,265 SF.
 PER FBC 6TH EDITION 2017, 1203.4.1, PROVIDE 1
 SF PER 150 SF OF CRAWL-SPACE AREA.
 1,265/150 = 8.4 SF OF VENTILATION OPENING
 REQUIRED.
 NET FREE AREA AT EACH 8'X16' VENTILATION
 SCREEN IS 64 SQ. INCHES OR .44 SF.
 8.4/.44 = 19.1 VENTILATION SCREENS REQUIRED.
 20 VENTILATION SCREENS PROVIDED. SEE
 EXTERIOR ELEVATIONS FOR LOCATIONS.



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

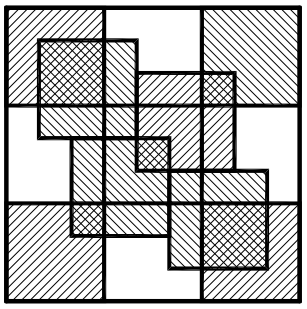
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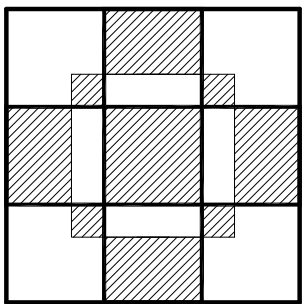
NORTH ELEVATION

SCALE: 1/4" = 1'-0"

2



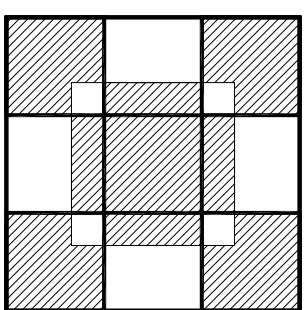
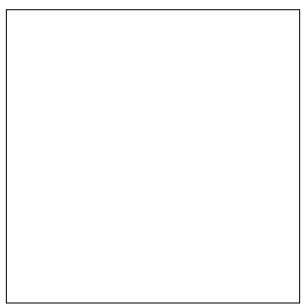
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 (561) 833-9147
 Architect: Elizabeth A. G. Colomé
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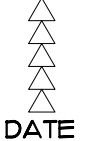
275 NW 12TH AVENUE
 SOUTH BAY, FL

PROJECT NO.
 201739



SHEET TITLE:
**EXTERIOR
 ELEVATIONS**

REVISIONS:



DATE

6-27-19

DRAWN BY:

HDM

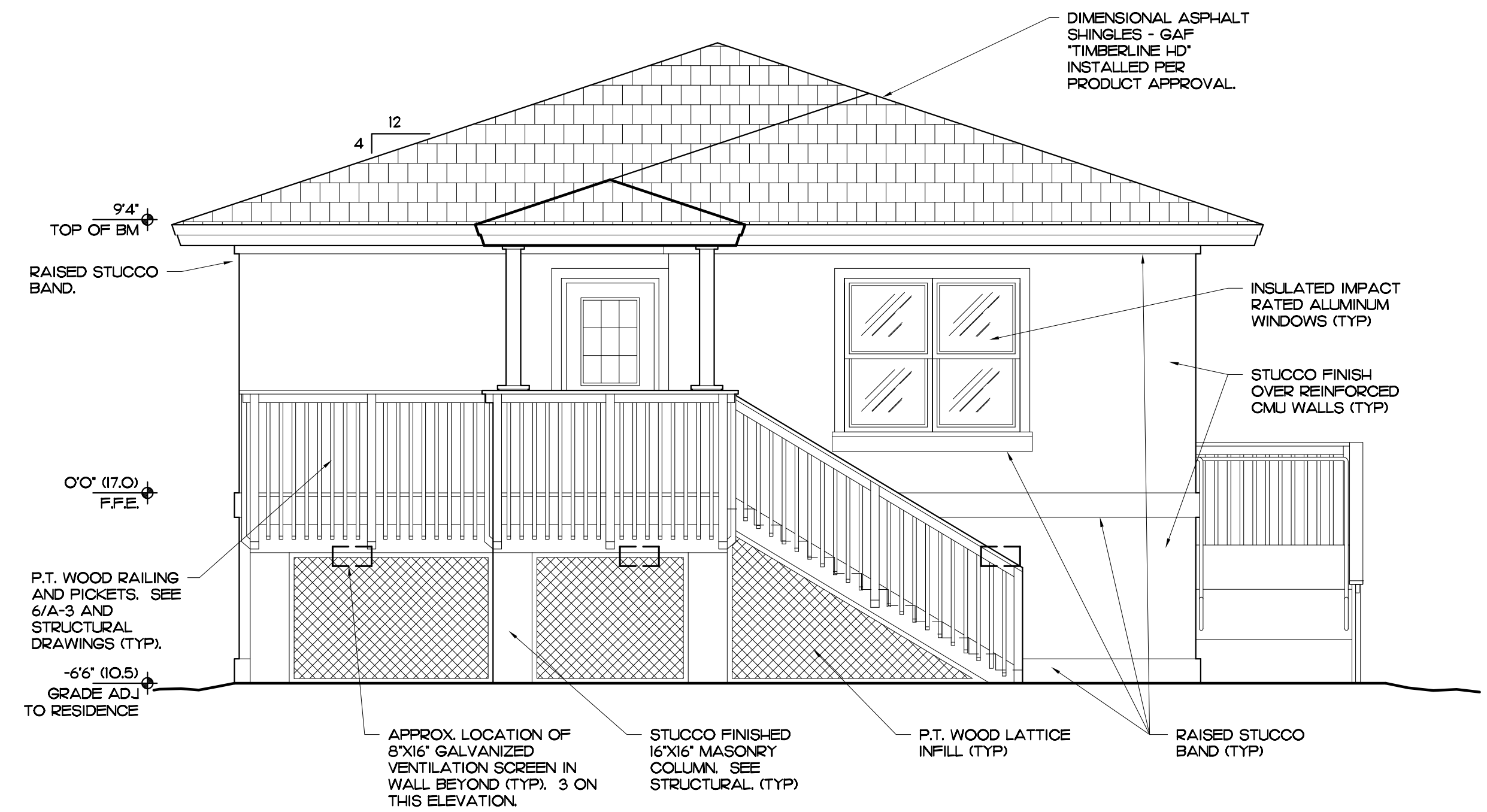
CHECKED BY:

EAC

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NUMBER:

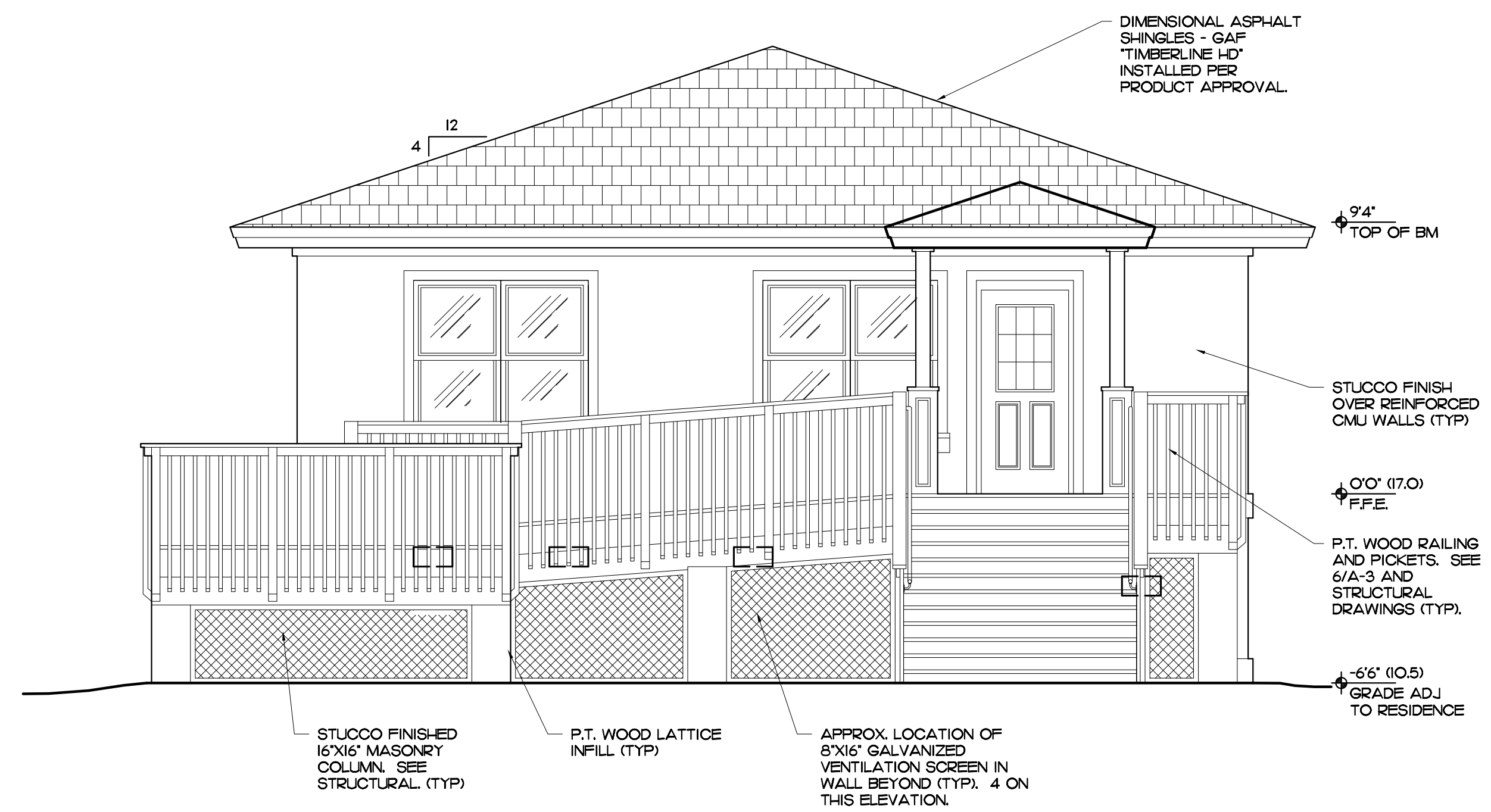
A-4.2



EAST ELEVATION

SCALE: 1/4" = 1'-0"

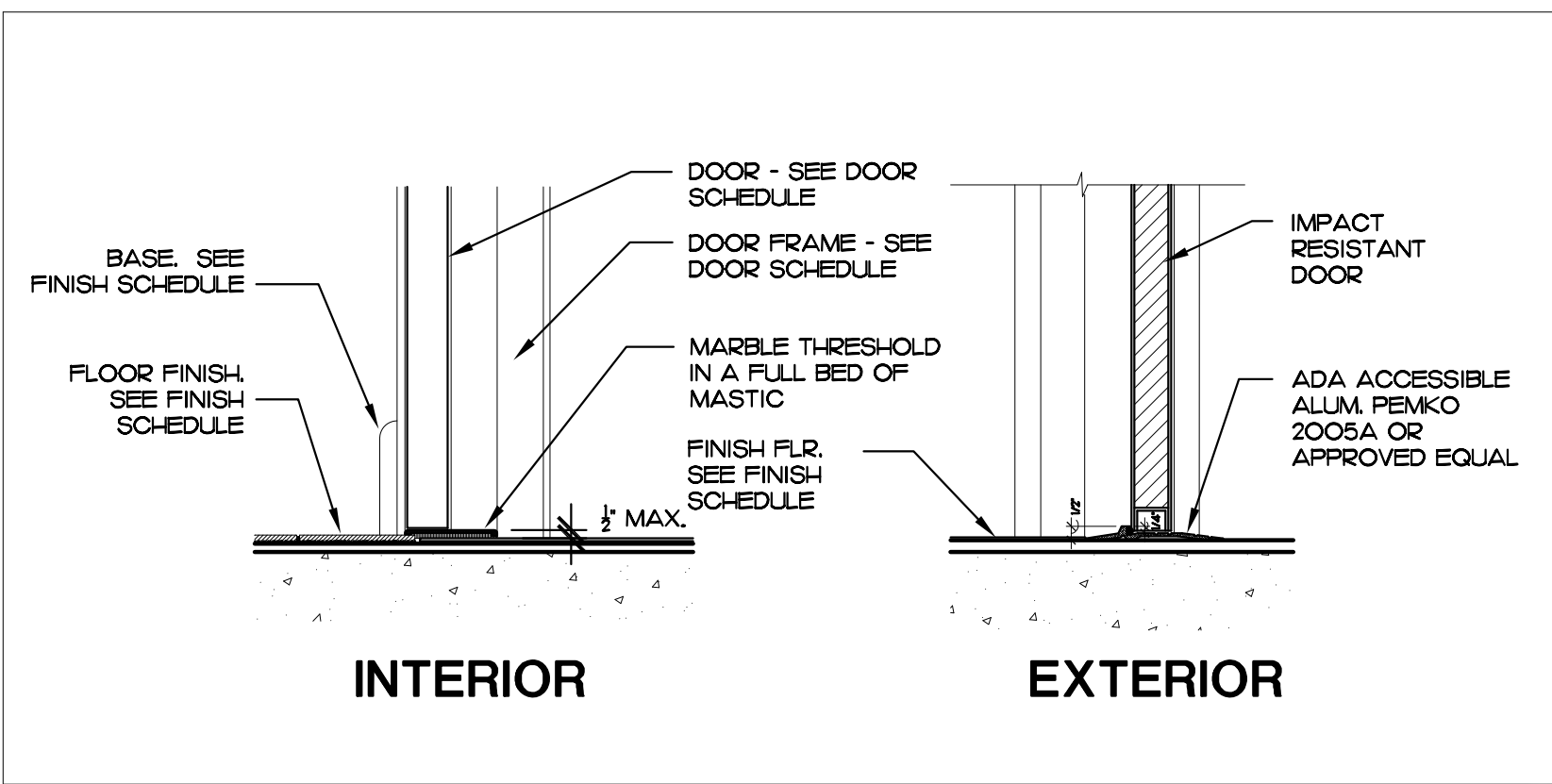
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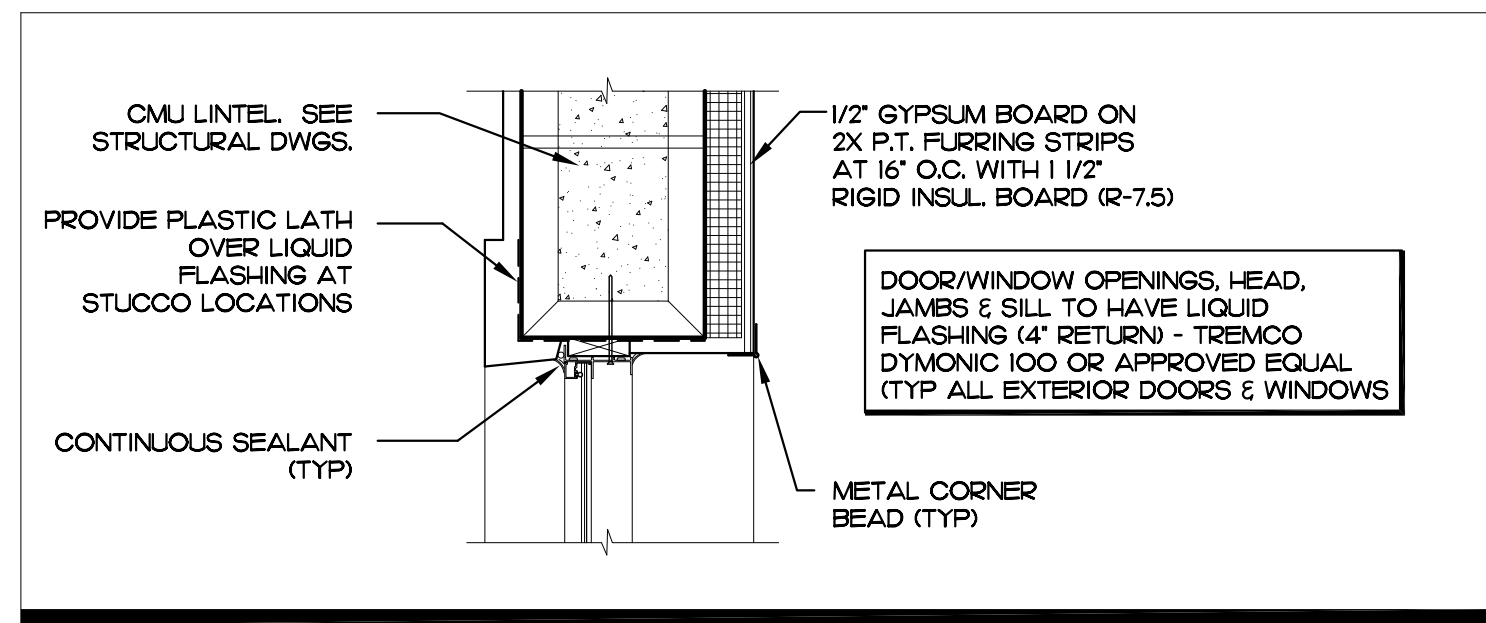
WEST ELEVATION

SCALE: 1/4" = 1'-0"

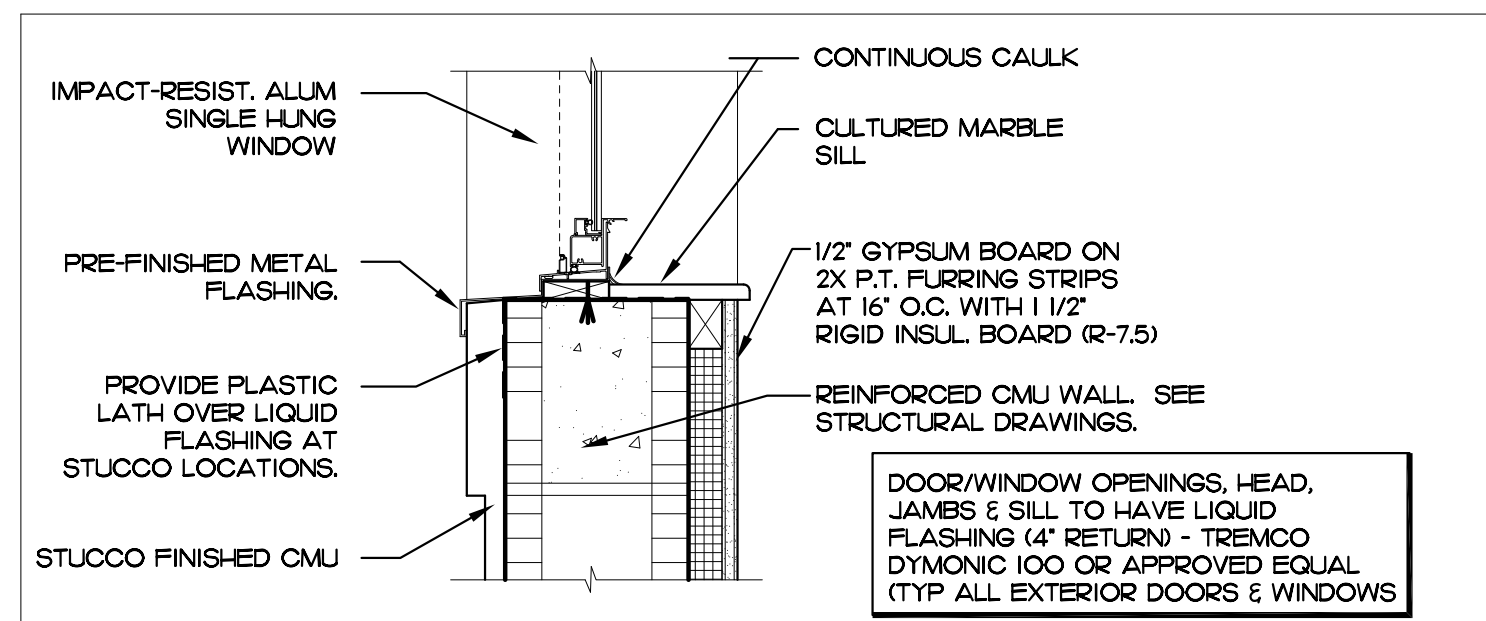
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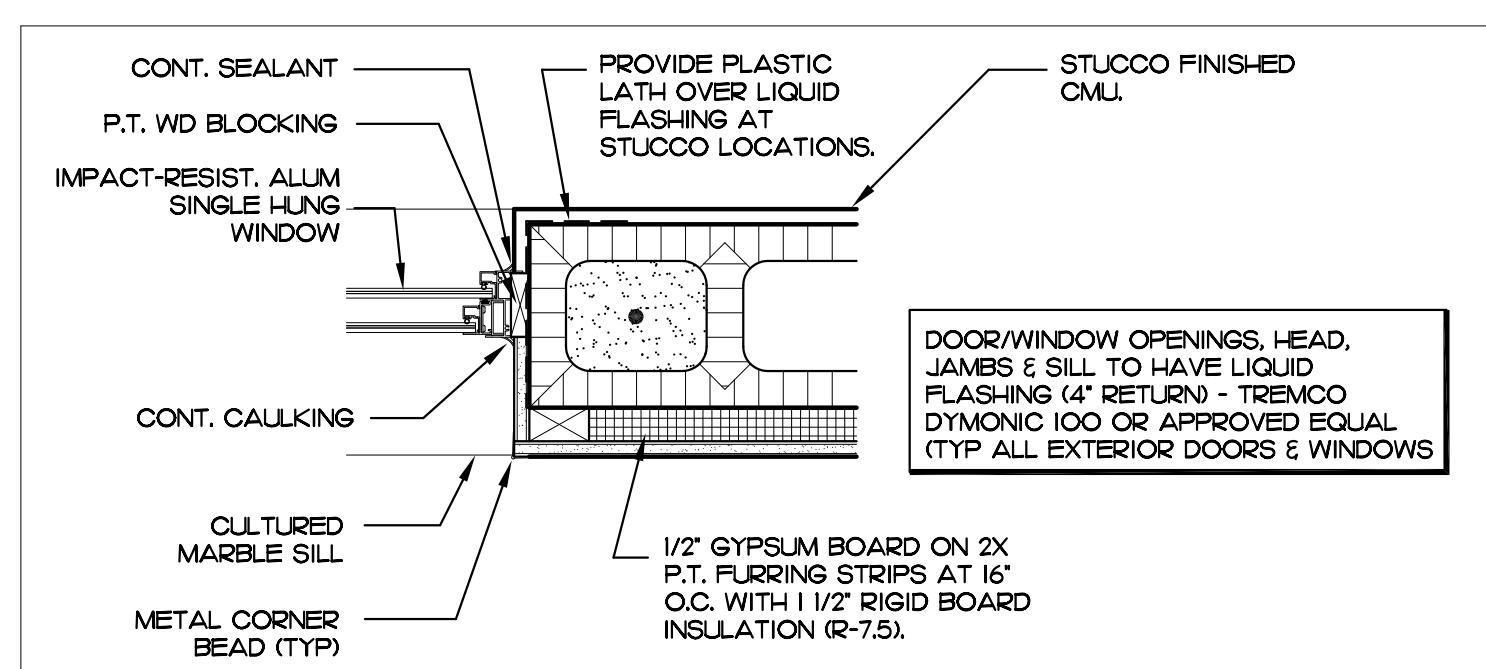
THRESHOLD DETAILS SCALE: 1/4" = 1' **7**



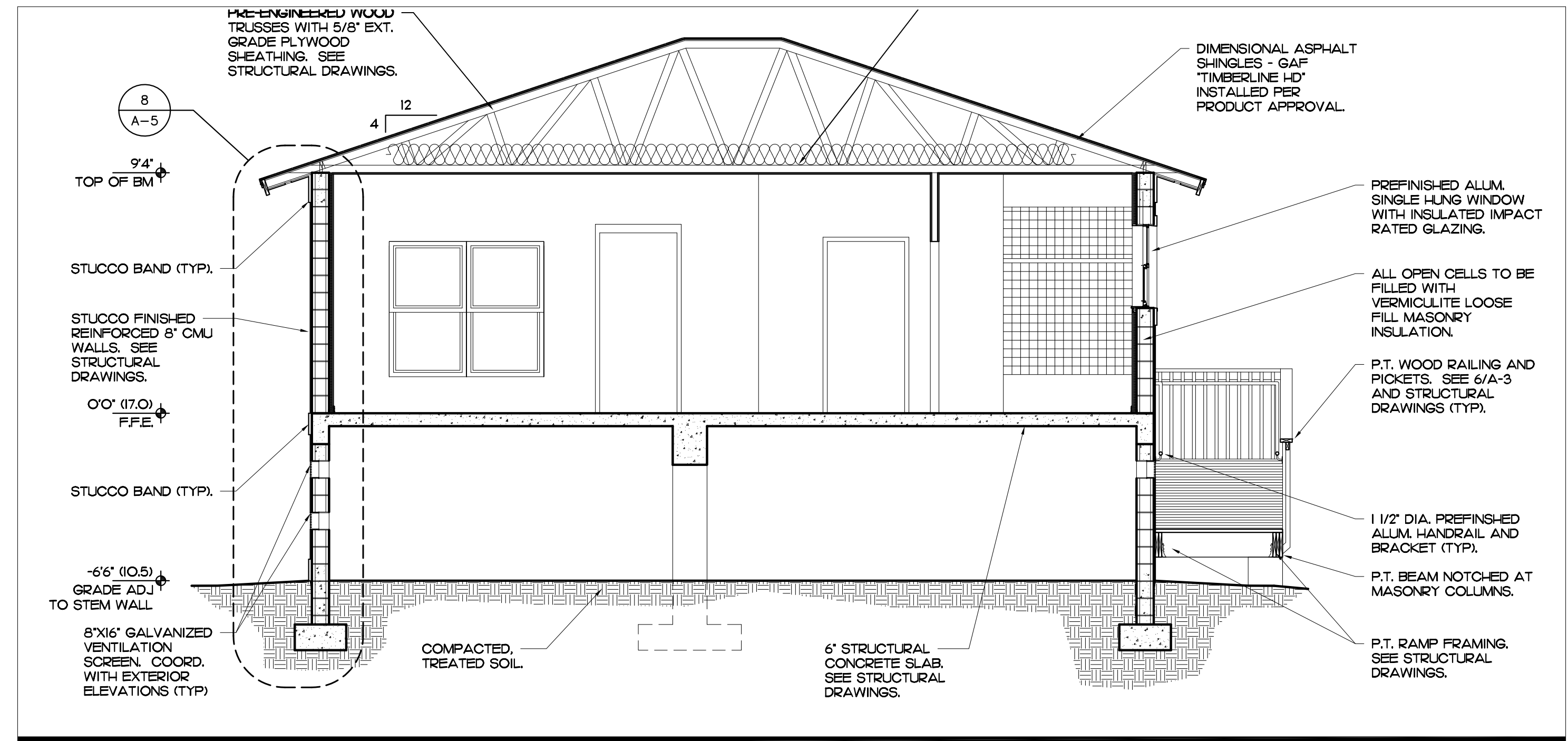
WINDOW HEAD SCALE: 1 1/2" = 1' **4**



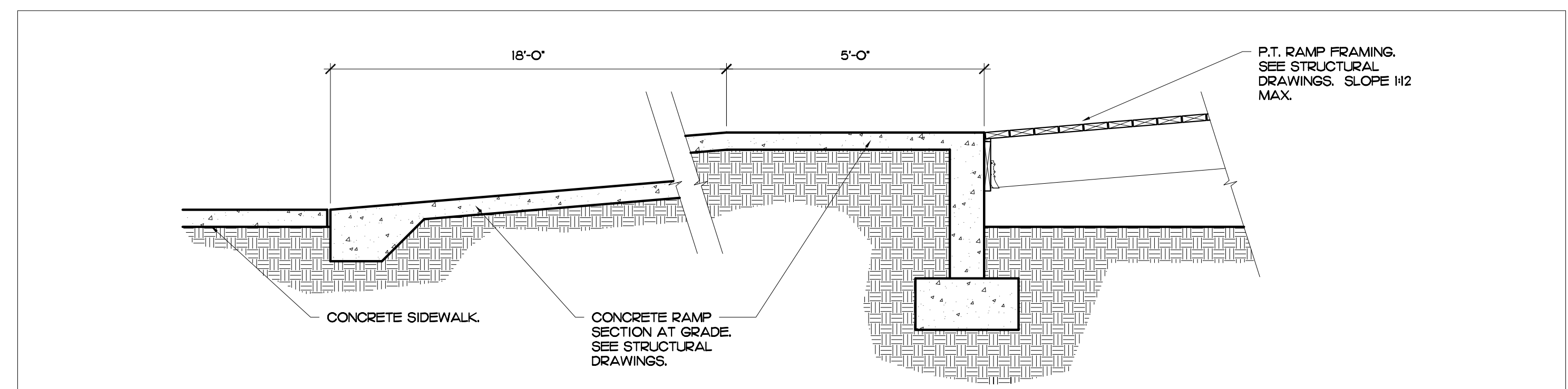
WINDOW SILL SCALE: 1 1/2" = 1' **5**



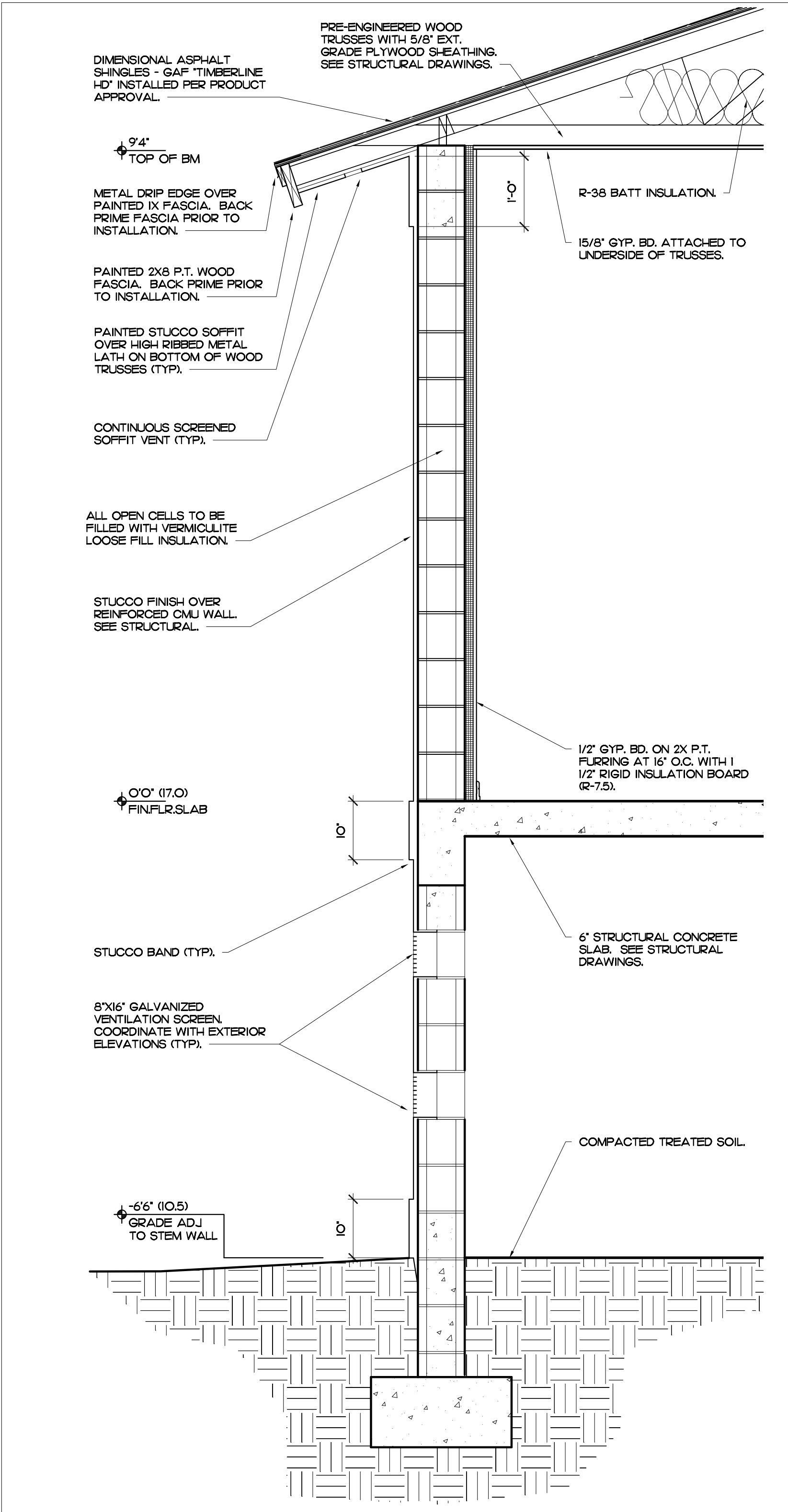
WINDOW JAMB SCALE: 1 1/2" = 1' **6**



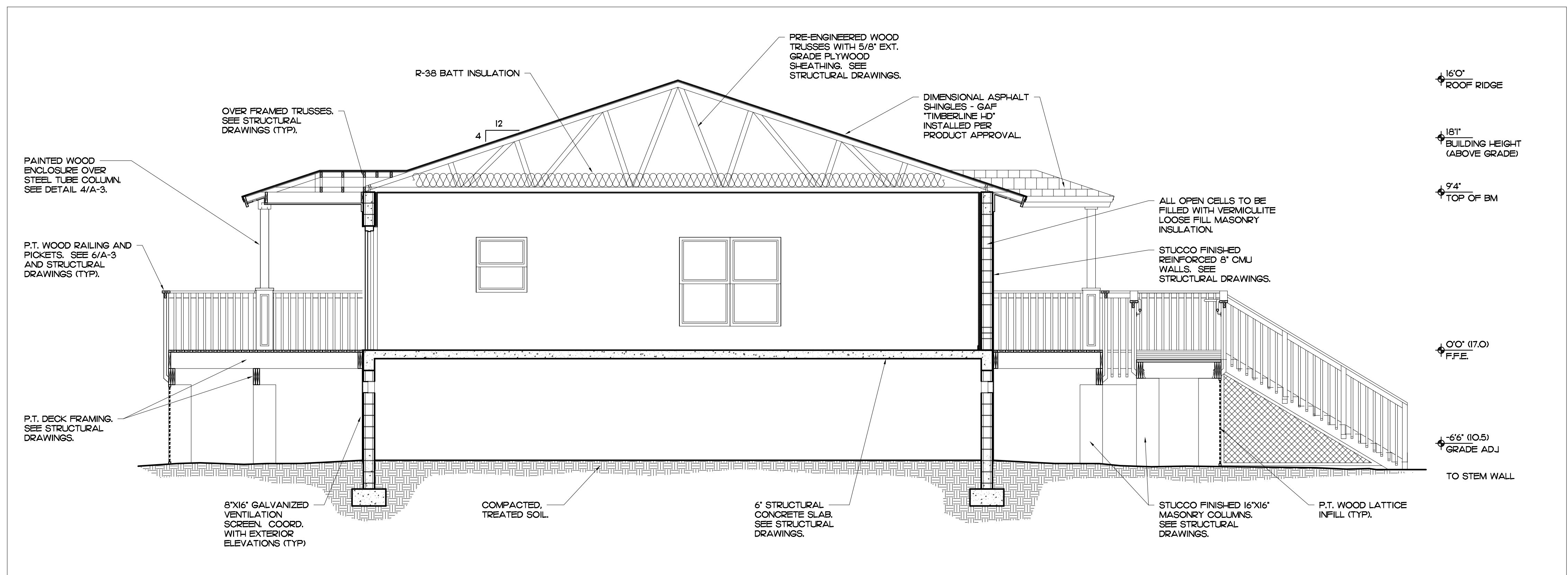
BUILDING SECTION SCALE: 1/4" = 1' **1**



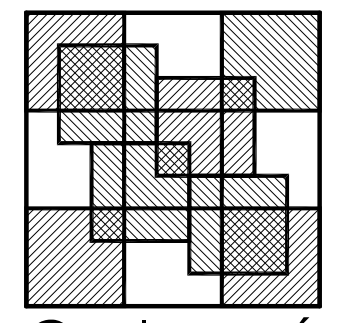
SECTION AT RAMP SCALE: 1/2" = 1' **2**



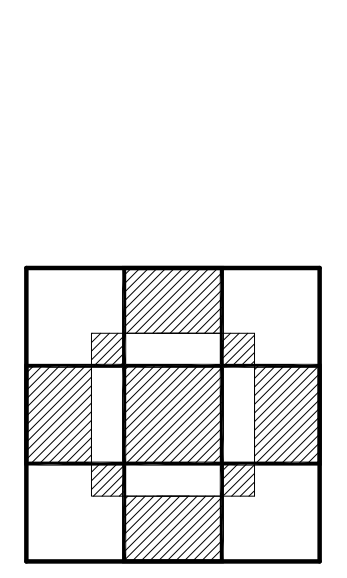
WALL SECTION SCALE: 3/4" = 1' **8**



BUILDING SECTION SCALE: 1/4" = 1' **3**



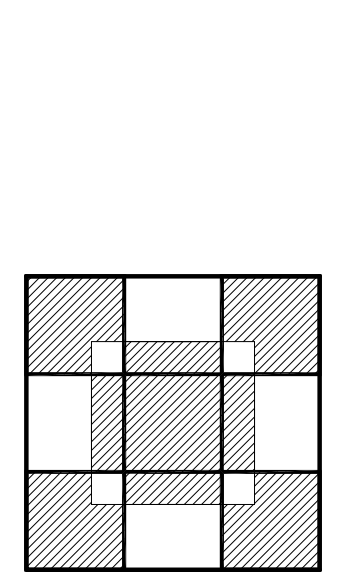
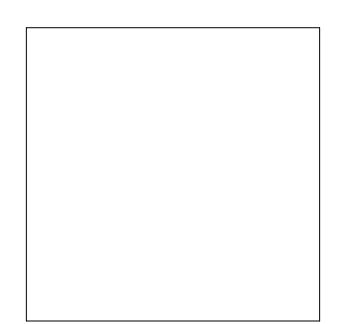
Colomé & Associates, Inc.
 AA 003439
 530 24TH STREET
 WEST PALM BEACH
 FLORIDA, 33407
 (561) 833-9147
 Architect: Elizabeth A. G. Colomé
 REG. NUMBER: AR 0014839



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PROJECT NO.
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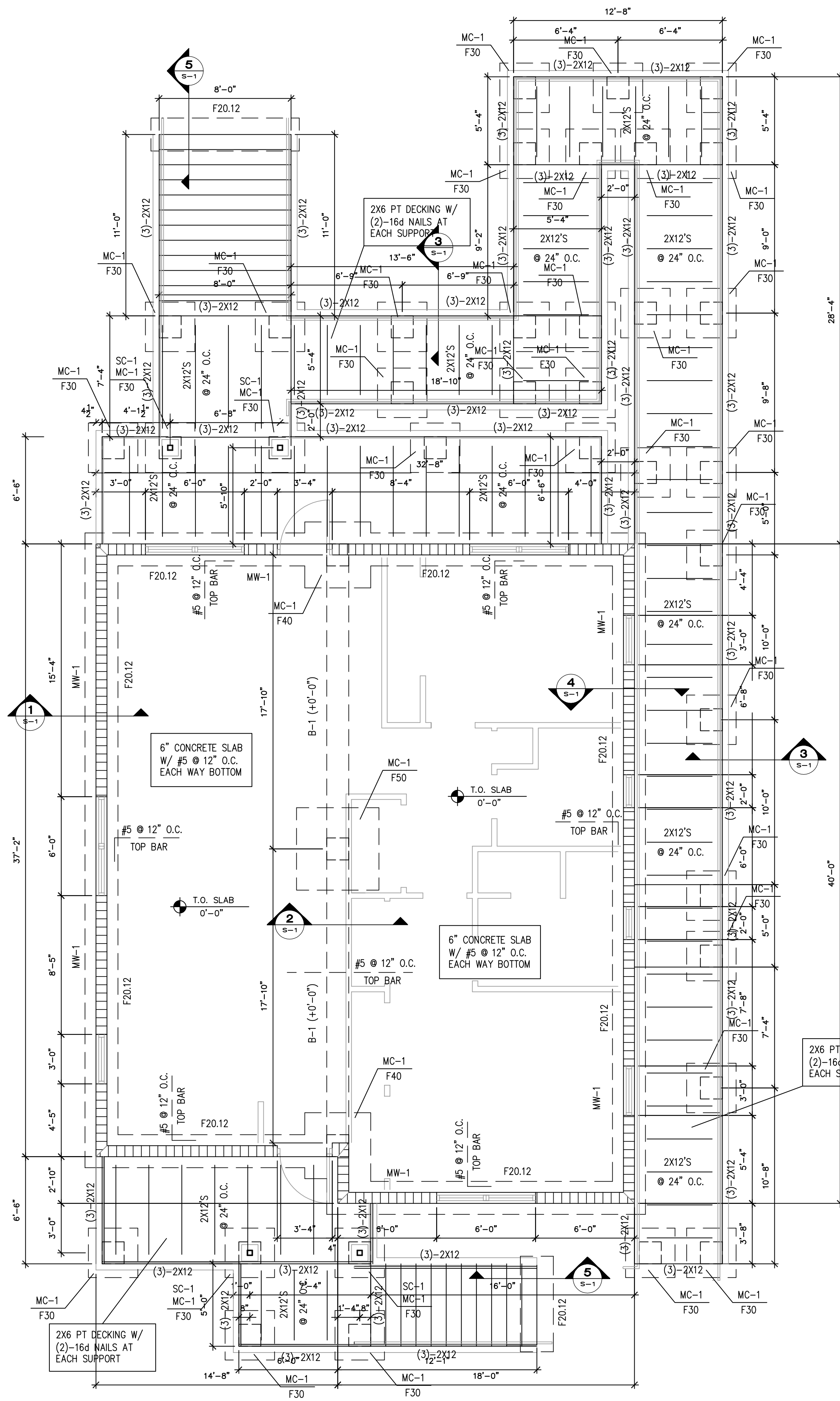


SHEET TITLE
**BUILDING
 SECTIONS**

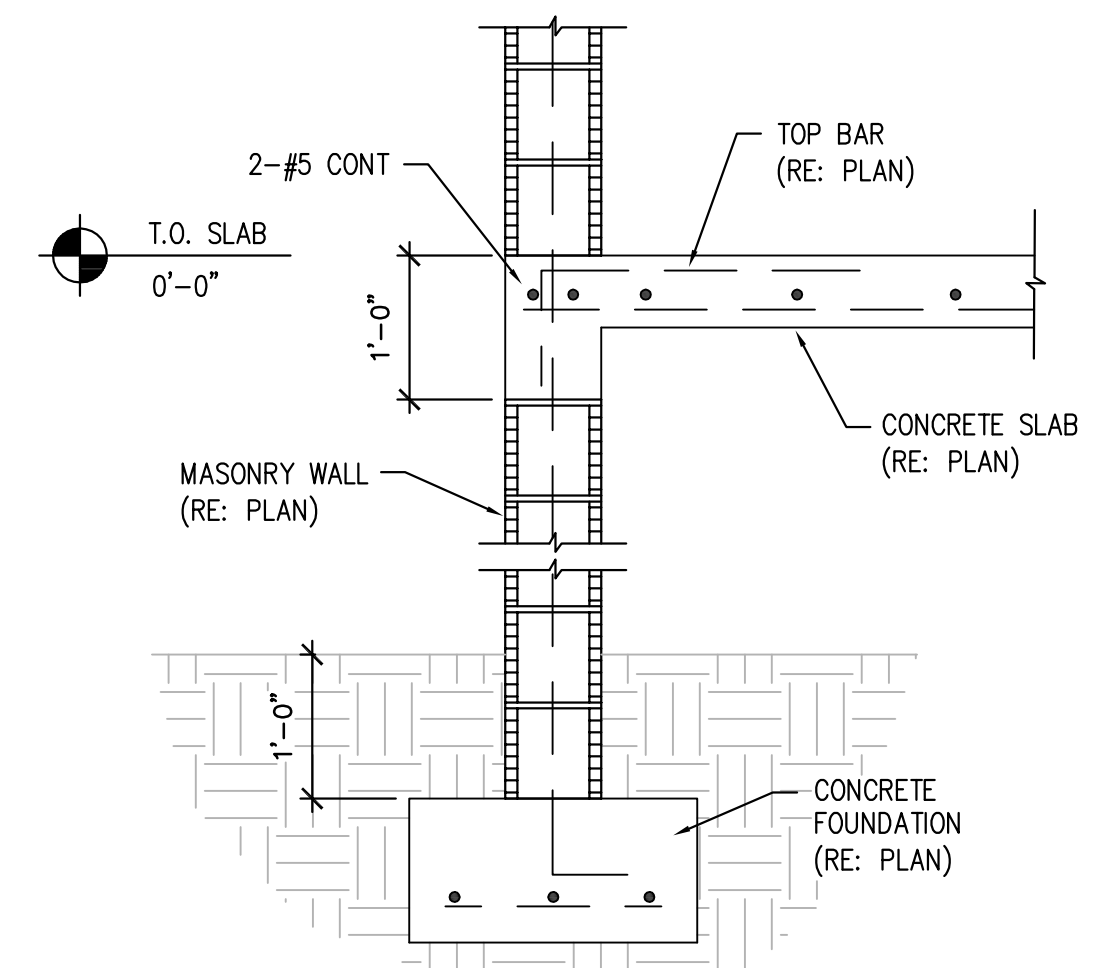
REVISIONS:
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 DATE
6-27-19
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HDM
 CHECKED BY:
EAC

SHEET
 NUMBER:

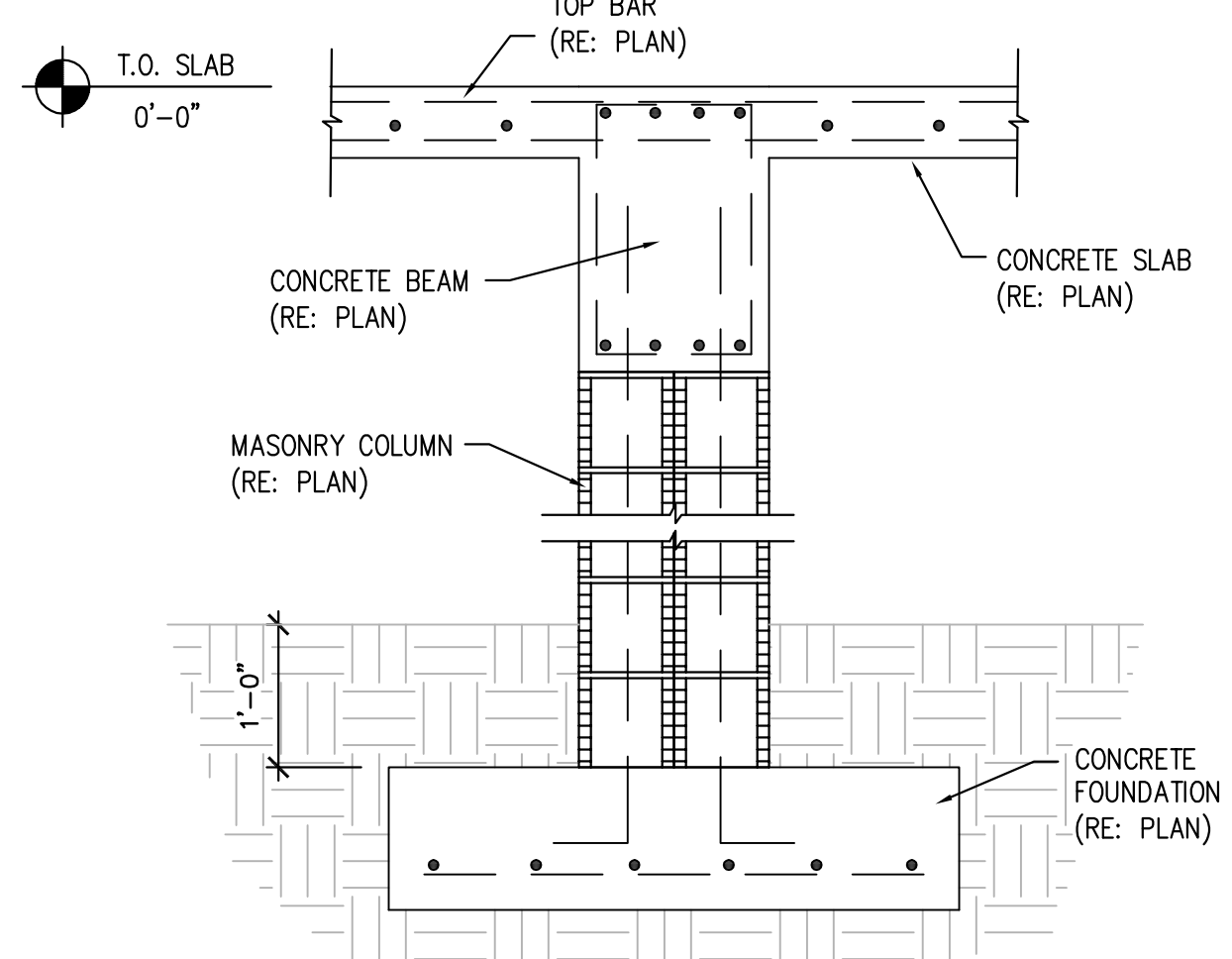
A-5



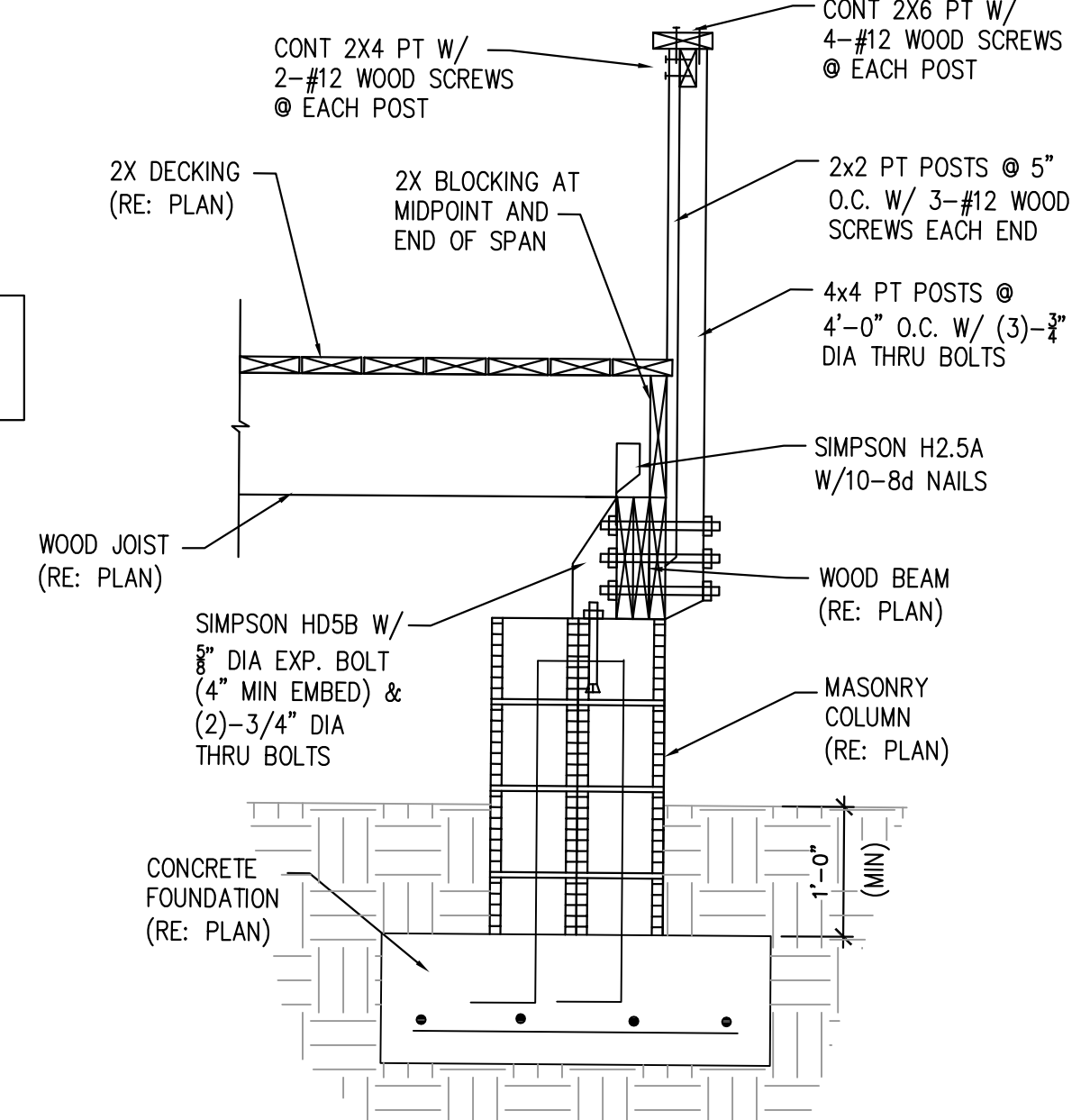
FOUNDATION PLAN



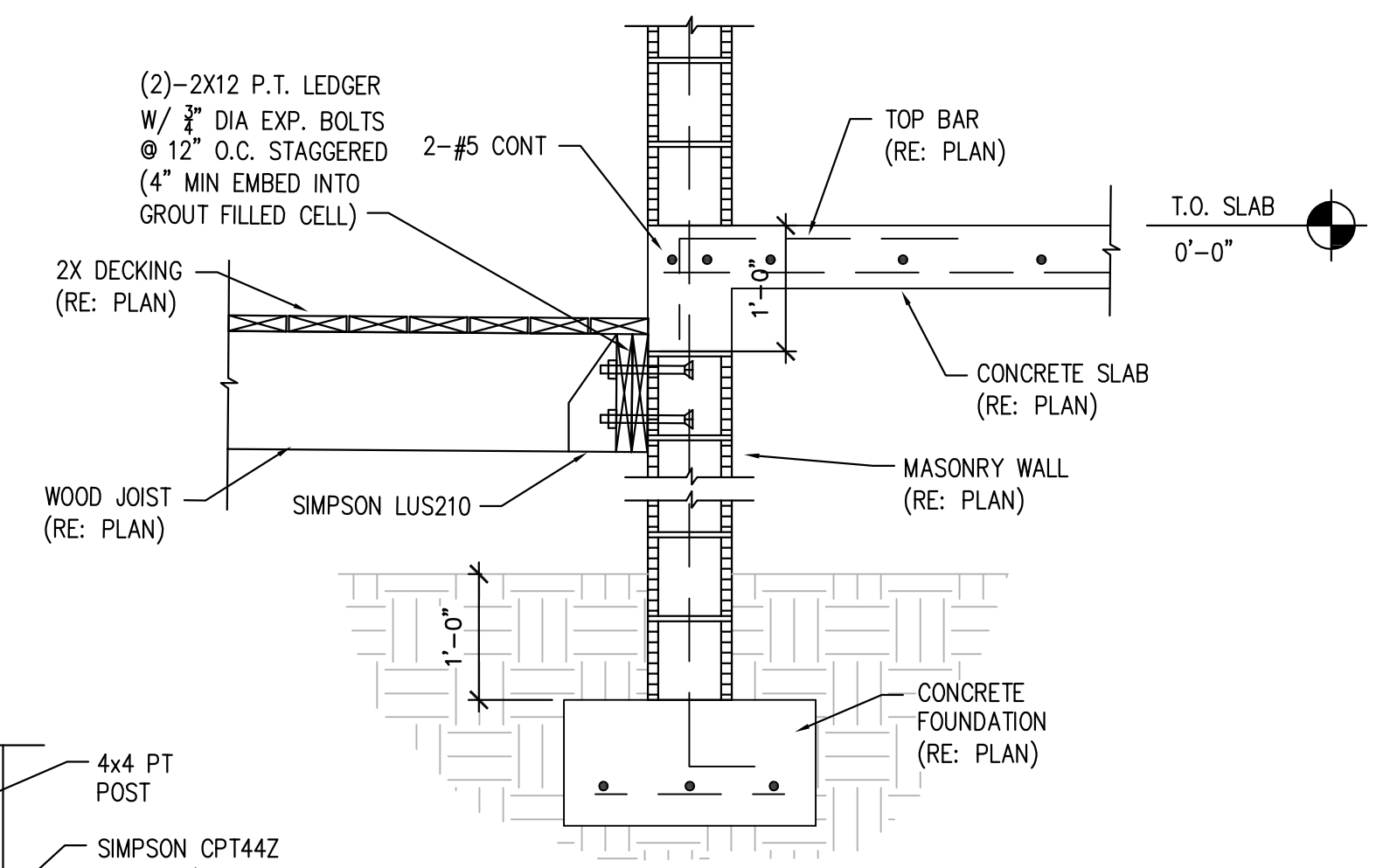
1 SECTION
S-1 3/4" = 1'-0"



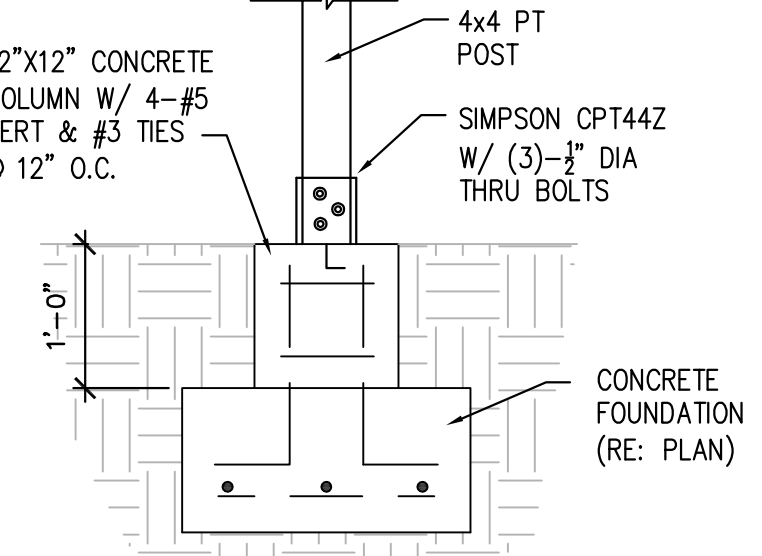
2 SECTION
S-1 3/4" = 1'-0"



3 SECTION
S-1 3/4" = 1'-0"



4 SECTION
S-1 3/4" = 1'-0"



5 SECTION
S-1 3/4" = 1'-0"

MASONRY WALL SCHEDULE		
MARK	THICKNESS	REINFORCING
MW-1	8" CMU	#5 @ 48" O.C.

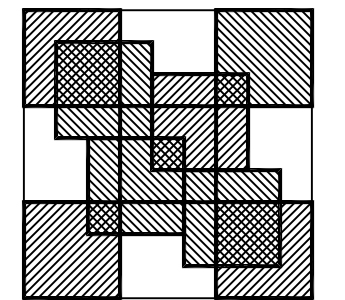
- MASONRY WALL NOTES:
- WALL SEGMENTS SHALL BE REINFORCED WITH 9 GA. GALVANIZED LATERAL REINFORCING @ 16" O.C. HORIZ. EXTEND REINFORCING 6" INTO POURED ELEMENTS AND AROUND ENCASED STEEL.
 - ADJACENT TO ANY EXTERIOR WALL OPENING, PLACE 1 #5 VERTICAL IN CELL GROUTED SOLID, FULL HEIGHT.
 - ALL MASONRY REINFORCED CELLS SHALL BE FILLED WITH 3000 PSI GROUT MIX.

MASONRY COLUMN SCHEDULE				
MARK	SIZE (Inches)	VERT. REINF.	TIES	SPACING
MC-1	16"x16"	4-#5	#3	8" O.C.

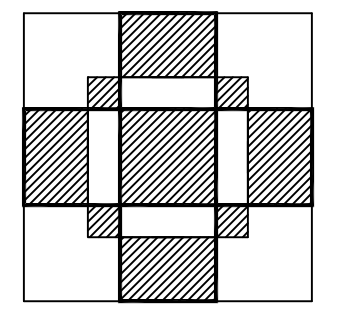
FOOTING SCHEDULE			
MARK	SIZE	REINFORCING	TYPE
F30	3'-0" X 3'-0" X 12"	4-#5 EACH WAY	SPREAD
F40	4'-0" X 4'-0" X 12"	5-#5 EACH WAY	SPREAD
F50	5'-0" X 5'-0" X 16"	6-#5 EACH WAY, TOP & BOT	SPREAD
F20.12	2'-0" X 12" X CONT.	3-#5 CONT.	SPREAD

BEAM SCHEDULE									
BEAM No.	SIZE	REINFORCING				STIRRUPS		REMARKS	
		BOTTOM	TOP CONT.	C	D	INT	TIES		SPACING
BB-1	8"x16" (*)	2-#5	2-#5	-	-	-	-	-	(*) = MASONRY BOND BEAM
B-1	16"x24"	4-#6	4-#6	-	-	-	#3	12" O.C.	

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 STRUCTURAL ENGINEERING CONSULTANTS
 FLORIDA P.E. #56989
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 ROYAL PALM BEACH, FL 33411 (561) 795-1883 - FAX

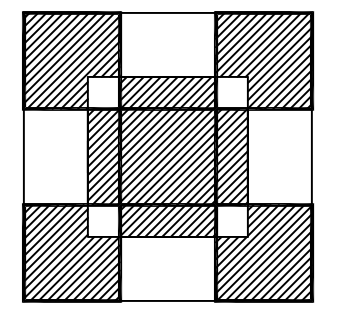


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PBC-DES CAMERON RESIDENCE
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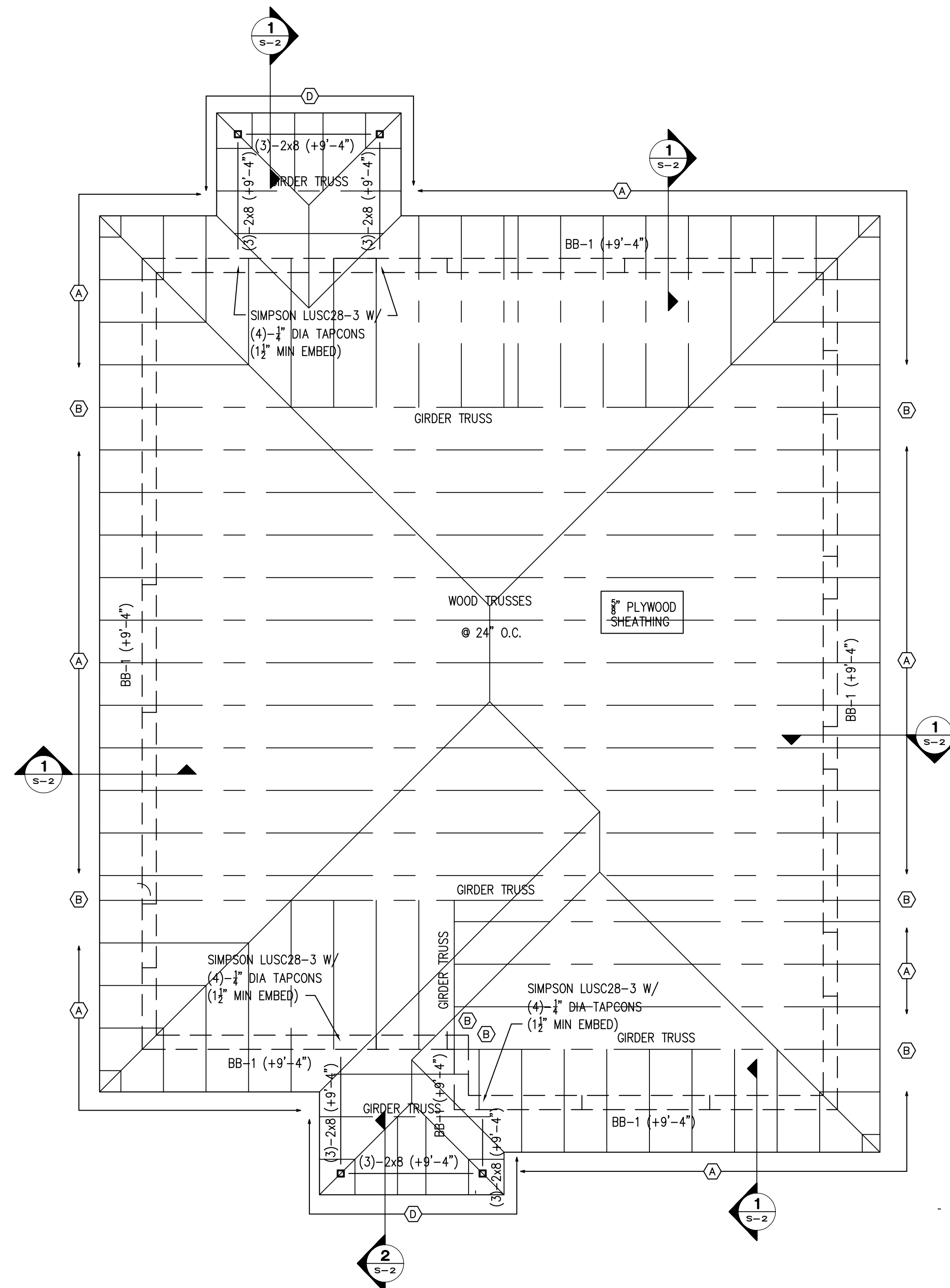


SHEET TITLE:
FOUNDATION PLAN

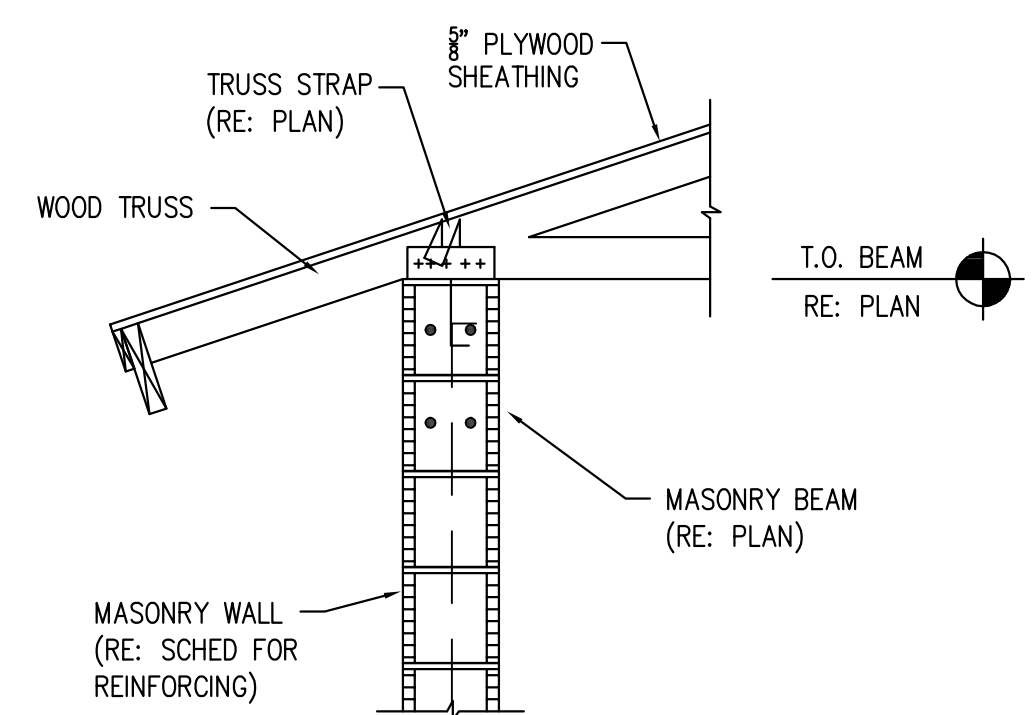
REVISIONS:
 DATE
6/27/19
 DRAWN BY:
WW
 CHECKED BY:
WW

SHEET NUMBER:

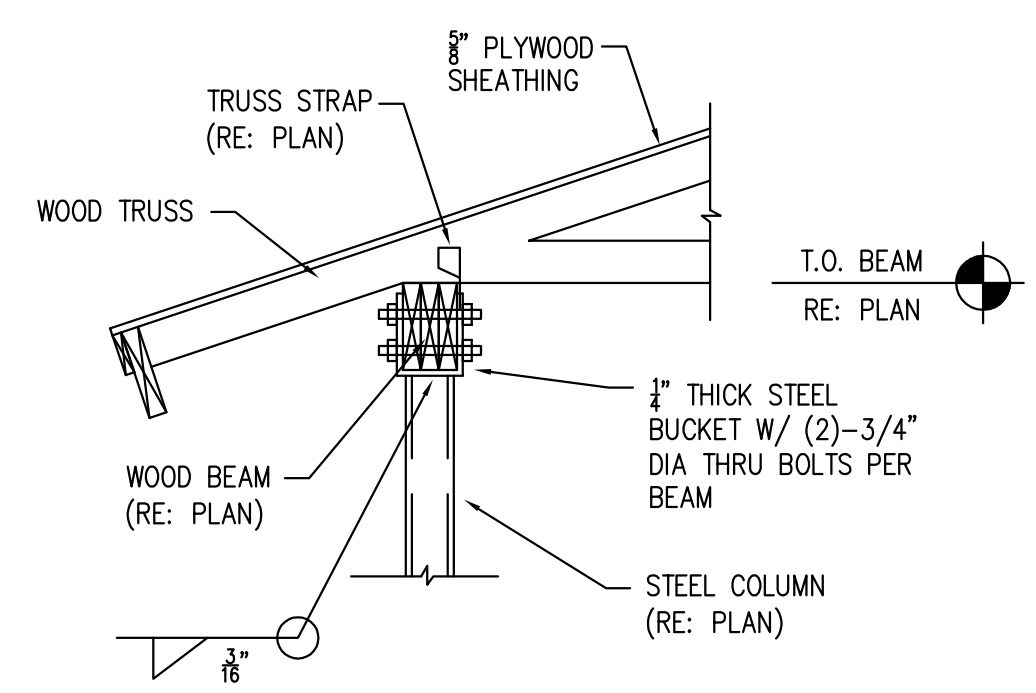
S-1



ROOF FRAMING PLAN
Scale: 1/4"=1'-0"



1 SECTION
3/4" = 1'-0"

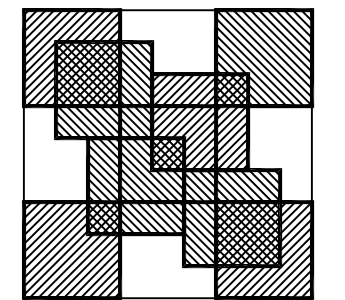


2 SECTION
3/4" = 1'-0"

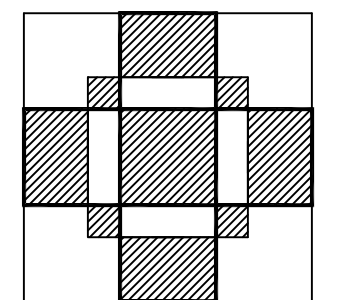
PROVIDE ANCHOR STRAP FROM TABLE BELOW AT EACH BEARING POINT FOR EACH WOOD TRUSS AND EACH GIRDER TRUSS ADEQUATE TO RESIST UPLIFT AS SPECIFIED BY THE WOOD TRUSS MANUFACTURER.

"SIMPSON" TRUSS TIE DOWN (U.N.O.)								
MARK	ANCHOR TYPE	NAILS TO TRUSS	NAILS TO SEAT	NAILS TO BEAM	ALLOWABLE UPLIFT	LATERAL LOAD PARALLEL TO WALL	LATERAL LOAD PERPEND. TO WALL	FLORIDA PRODUCT APP NUMBER
(A)	HETAL 16	10-10d x 1 1/2"	5-10d x 1 1/2"	-	1810 #	415 #	1100 #	1901.20
(B)	HETAL 16 MSTAM24	10-10d x 1 1/2" 9-10d	5-10d x 1 1/2" -	- (5) 1/4" TAPCONS	3275 #	415 #	1100 #	1901.20 1901.61
(C)	H2.5A	5-8d	-	5-8d	600 #	110 #	110 #	
(D)	(2)-H2.5A	10-8d	-	10-8d	1200 #	220 #	220 #	
(E)	(2)-H2.5A MSTAM24	10-8d 9-10d	-	10-8d 9-10d	2665 #	220 #	220 #	
(F)	(2)-H2.5A (2)-MSTAM24	10-8d 18-10d	-	10-8d 18-10d	4130 #	220 #	220 #	

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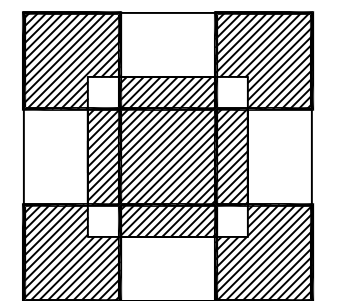
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201739



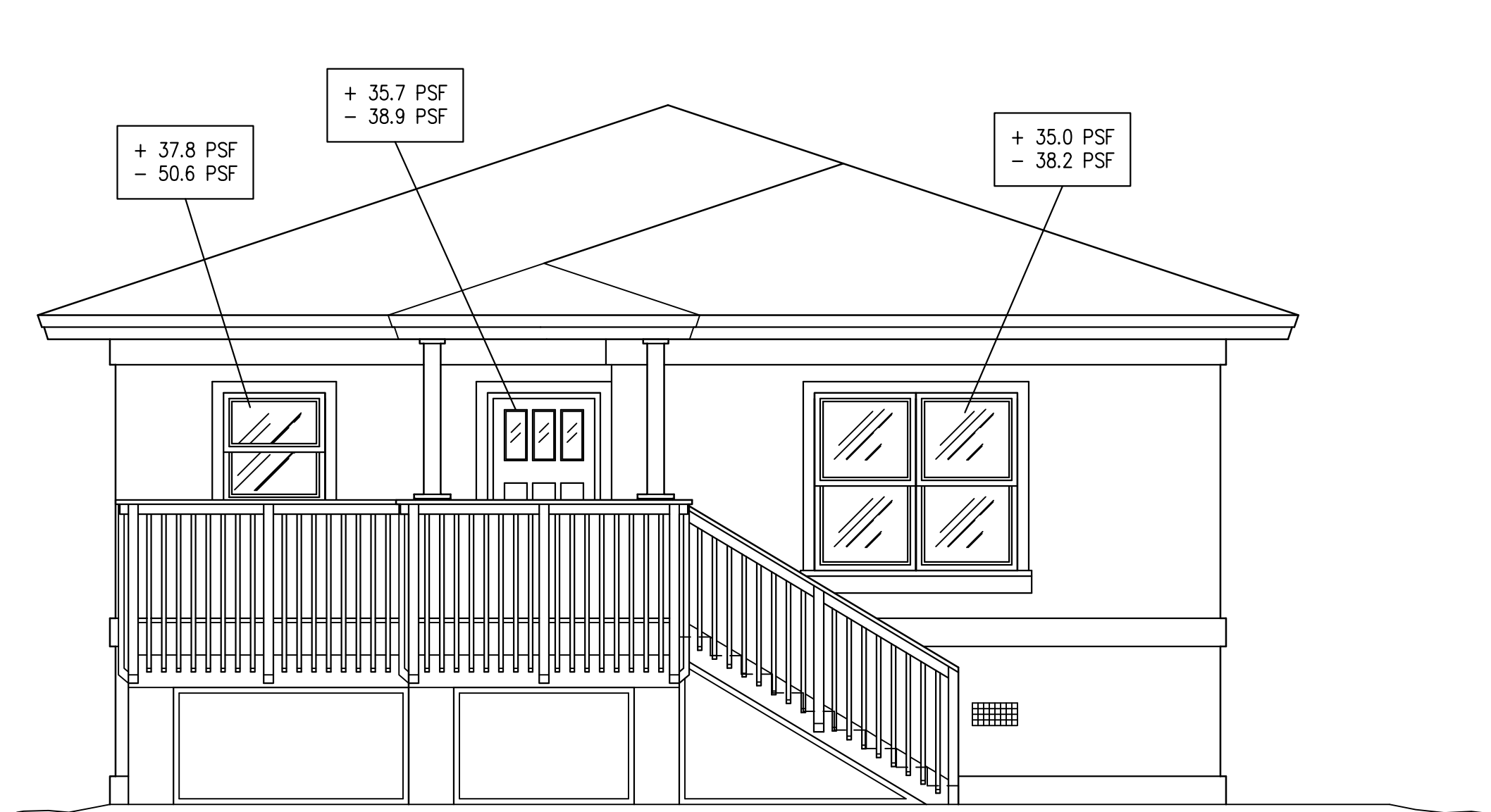
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ROOF FRAMING PLAN

REVISIONS:

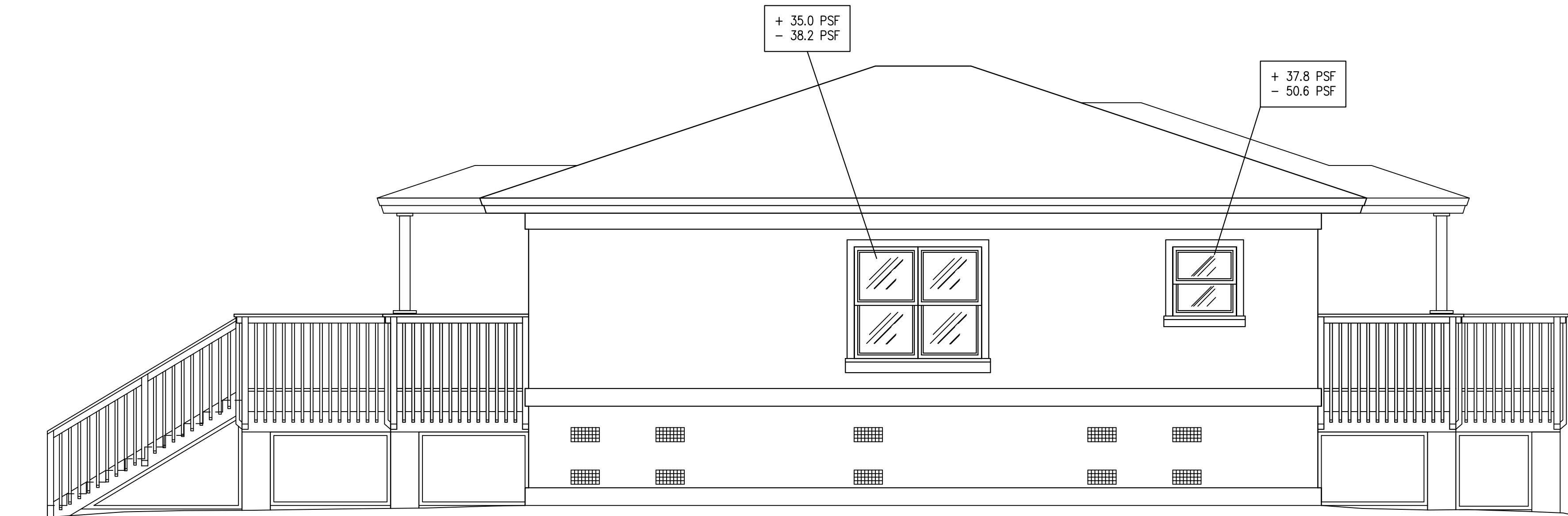
DATE
6/27/19
DRAWN BY:
WW
CHECKED BY:
WW

SHEET NUMBER:

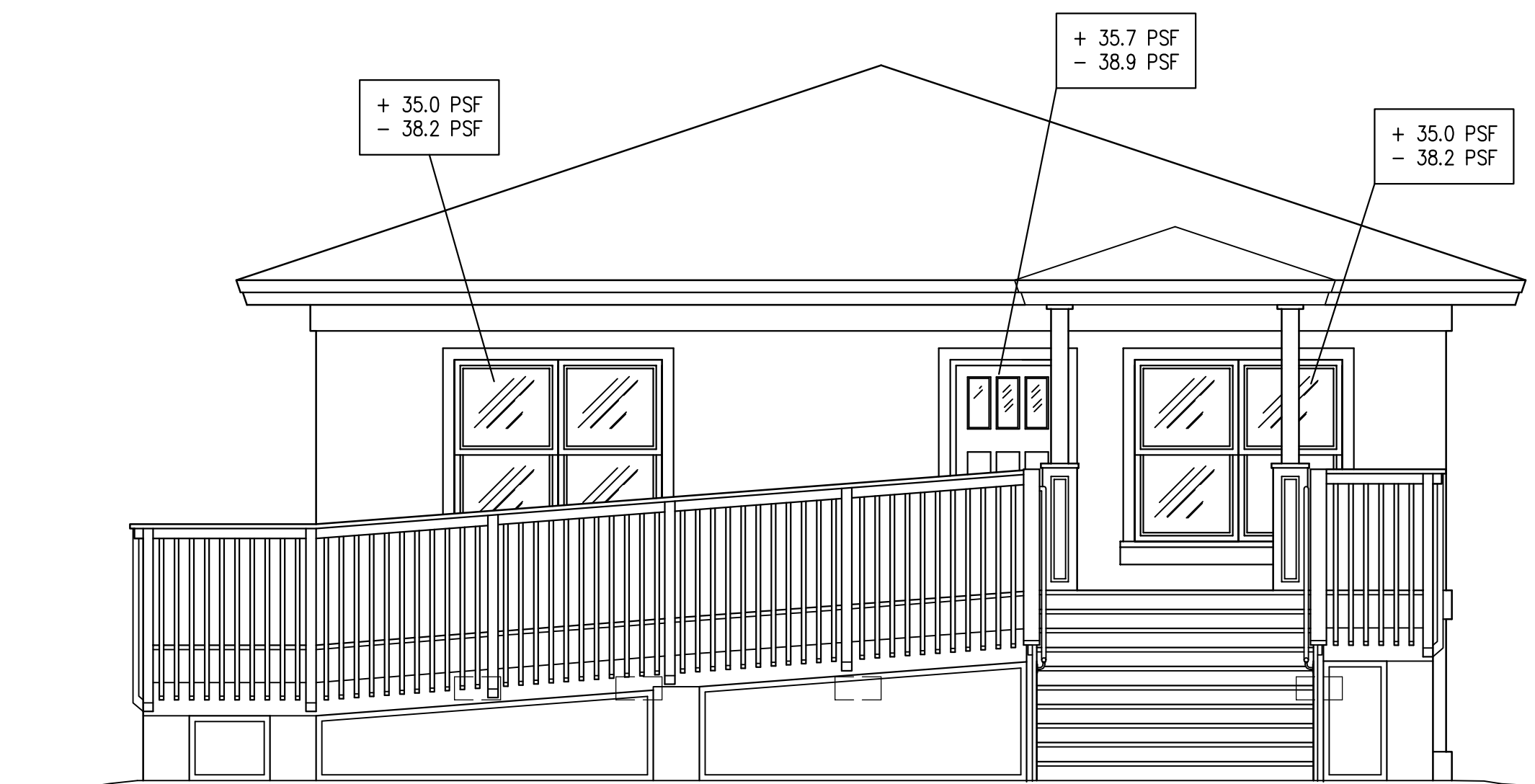
S-2



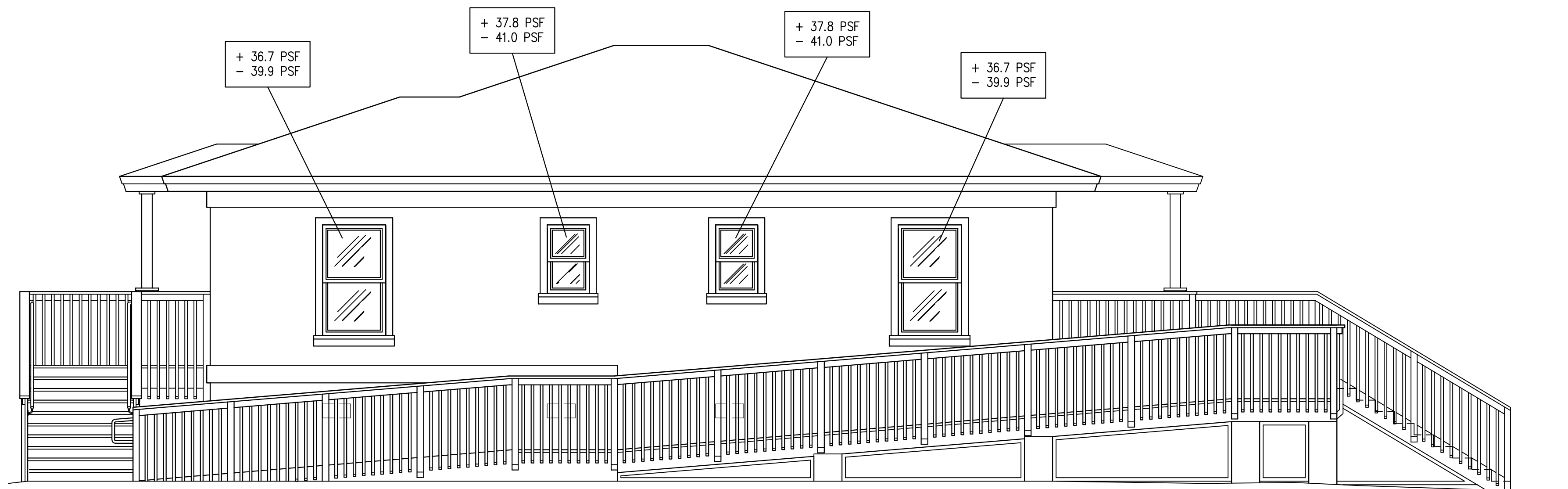
SOUTH ELEVATION
Scale: 1/4"=1'-0"



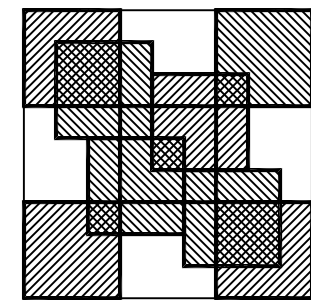
WEST ELEVATION
Scale: 1/4"=1'-0"



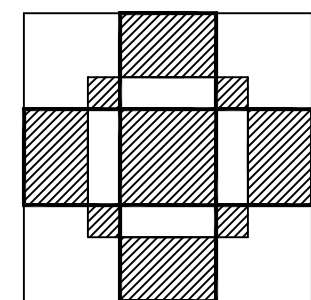
NORTH ELEVATION
Scale: 1/4"=1'-0"



EAST ELEVATION
Scale: 1/4"=1'-0"



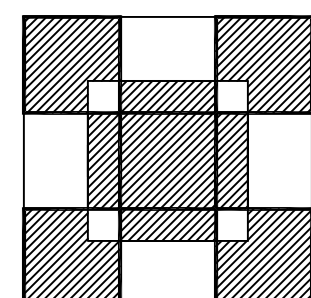
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Architect: Elizabeth A. G. Colomé
REG. NUMBER: AR 0014832



PBC-DES
CAMERON
RESIDENCE

275 NW 12TH AVENUE
SOUTH BAY, FL

PROJECT NO.
201739



SHEET TITLE:
WIND PRESSURES

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▲
▲
DATE
6/27/19
DRAWN BY:
WW
CHECKED BY:
WW

SHEET
NUMBER:

S-4

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