



**PALM BEACH COUNTY
ZONING APPLICATION STAFF REPORT**

BOARD OF COUNTY COMMISSIONERS, AUGUST 28, 2025

A. Application Summary

I. General

Application Name:	West End Crossing MUPD, PDD/CA-2023-00843
Control Name:	West End Crossing MUPD (2023-00043)
Applicant:	West End Crossing, LLC
Owner:	West End Crossing, LLC
Agent:	Cotleur & Hearing, Inc. - Jeanne Ducharme and Don Hearing
Project Manager:	Nancy Frontany Bou, Senior Site Planner

Title: an Official Zoning Map Amendment **Request:** to allow a rezoning from the Agricultural Residential (AR) Zoning District to the Multiple Use Planned Development (MUPD) Zoning District on 5.93 acres

Title: a Class A Conditional Use **Request:** to allow a Retail Gas and Fuel Sales with Convenience Store on 5.93 acres

Application Summary: The application is for the proposed West End Crossing development. The site has no prior approvals by the Board of County Commissioners, and it is currently vacant.

The request proposes an Official Zoning Map Amendment to allow a rezoning from the Agricultural Residential (AR) Zoning District to the Multiple Use Planned Development (MUPD) Zoning District and a Class A Conditional Use to allow a Retail Gas and Fuel Sales with Convenience Store. The Preliminary Site Plan (PSP) also depicts two additional uses, Medical Office and Retail Sales which are permitted by right uses in the MUPD Zoning District.

This application is contingent upon a concurrent application for a Large Scale Future Land Use Amendment, LGA-2024-00002, to change the Future Land Use designation from Rural Residential, 1 unit per 2.5 acres (RR-2.5) to Commercial Low (CL).

The Preliminary Site Plan (PSP) indicates Retail Gas and Fuel Sales with 12 pump stations, a Convenience Store Building of 4,853 square feet (sq. ft.), a 5,221 sq. ft. Building of Retail Sales, and a 5,221 sq. ft. Building for Medical Office. Access is from Northlake Boulevard and Seminole Pratt Whitney Road.

II. Site Data

Acres:	5.93 acres
Location:	Southeast corner of Seminole Pratt Whitney Road and Northlake Boulevard
Parcel Control:	00-41-42-18-00-000-7910, 7920 and 7930
Future Land Use:	Rural Residential, 1 unit per 2.5 acres (RR-2.5)
Proposed FLU:	Commercial Low with underlying RR-2.5 (CL/RR-2.5)
Zoning District:	Agricultural Residential (AR)
Proposed Zoning:	Multiple Use Planned Development (MUPD)
Tier:	Exurban
Utility Service:	Palm Beach County Utility Department (PBCWUD)
Overlay/Study:	Western Northlake Corridor Land Use Study
Neighborhood Plan:	Acreage Neighborhood Plan
CCRT Area:	N/A
Comm. District:	6, Vice Mayor Sara Baxter

III. Staff Assessment & Recommendation

ASSESSMENT: Staff have evaluated the standards listed under Article 2.B, and determined that the requests meet the minimum standards of the ULDC subject to Conditions of Approval as indicated in Exhibit C-1 and C-2 provided that the BCC approve the concurrent FLUA Amendment.

STAFF RECOMMENDATION: Recommend approval of the request subject to the Conditions of Approval as indicated in Exhibit C-1 and C-2.

PUBLIC COMMENT SUMMARY: At the time of publication, Staff had received over 350 emails in opposition from the public regarding this application.

IV. Hearing History

ZONING COMMISSION: At the July 3, 2025 ZC Hearing, this item was on the Regular Agenda. Applicant and Staff made presentations. There was no public comment or Commission discussion on this item. Commissioner Vinikoor made a motion to approve the item and was seconded by Commissioner Caliendo. The motion carried by a vote of 8-0-0

BCC HEARING: At the July 24, 2025 Board of County Commissioners Hearing, this item was on the Postponements Agenda. No motion was required due to the timing of the request.

BCC HEARING: *Scheduled for August 28, 2024*

B. Data & Analysis

The supporting data and analysis is provided within the following Exhibits.

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Exhibit A-1 - Future Land Use Map



Zoning Application

West End Crossing (PDD/CA-2023-00843)

PDD/CA Boundary

AR

Streets shown: 93rd Rd, 93rd St, 92nd Ln, 92nd Ct, Murcott Blvd, Northlake Blvd, 91st Pl, Hamlin Blvd, 90th St, 89th Pl, Seminole Pratt-Whitney Rd.

Site Data		Zoning District	
Size:	5.93 acres	AR	Agricultural Residential
Existing Use:	Vacant		
Proposed Use:	Commercial		
Zoning:	AR		
Zoning Quad:	73		

Date: 2/10/2025
Contact: PBC Zoning
Filename: X:\Planning\ZoningCoord\DRO-Maps\2025\2023-00843
Note: Map is not official, for presentation purposes only.

Planning, Zoning & Building
2300 N. Jog Rd, WPB, FL 33411
Phone (561) 233-5300

Exhibit B - Standards Analysis & Findings

INTRODUCTION:

This application consists of two requests: an Official Zoning Map Amendment to rezone the site from Agricultural Residential (AR) to Multiple Use Planned Development (MUPD), and a request for a Class A Conditional Use Retail Gas and Fuel Sales with Convenience Store. Both uses are subject to the same set of standards described below, and both are contingent upon the concurrent Future Land Use Atlas (FLUA) amendment to establish Commercial Low on the subject site.

The Board of County Commissioners (BCC) will hear the FLUA amendment and the zoning application at the same hearing, and take action on the FLUA amendment before taking action on the zoning application. If the FLUA amendment is denied by the BCC, then the zoning applications cannot proceed. Accordingly, this staff report for the zoning application will be moot if the FLUA amendment is denied. Therefore, this zoning staff report has been drafted as if the BCC adopts the FLUA amendment.

The Findings below address both the two requests: rezoning to MUPD and the Class A Conditional use. If approved by the BCC, these requests would be adopted by resolution. Staff has proposed conditions of approval for each of the requests/resolutions as noted in the report. It is anticipated that Staff and the Applicant will continue to discuss the staff proposed conditions between publication of the Zoning Commission staff report and the BCC public hearing.

FINDINGS:

Conditional Uses, Official Zoning Map Amendment to a PDD or TDD and Development Order Amendment:

Article 2.B.7.B, Standards for Rezoning to a PDD or a TDD, a Conditional Use, or a Development Order Amendment are indicated below with Staff Analysis. A request that fails to meet any of these Standards shall be deemed adverse to the public interest and shall not be approved by the Commission.

a. Consistency with the Plan - *The proposed use or amendment is consistent with the purposes, goals, objectives and policies of the Plan, including standards for building and structural intensities and densities, and intensities of use.*

- *Consistency with the Comprehensive Plan:* Should the BCC approve the amendment request, then the subject requests are consistent with the Goals, Objectives and Policies of the Comprehensive Plan, including previous Land Use Amendments, densities and intensities of use, and this standard is met.

- *Concurrent Land Use Amendment:* This site is the subject of a concurrent Large Scale Future Land Use Atlas (FLUA) amendment known as West End Crossing MUPD (LGA 2024-002), which is proposing to amend the future land use designation from Rural Residential, 1 unit per 2.5 acres (RR-2.5) to Commercial Low, with an underlying Rural Residential, 1 unit per 2.5 acres (CL/RR-2.5). The Planning Commission recommended denial (8-4) at the January 10, 2025 Planning Commission public hearing. The Board of County Commissioners (BCC) transmitted the amendment (6-1) at the February 5, 2025 public hearing. The motion included a condition in Exhibit 1 requiring the concurrent adoption hearing of the land use and zoning applications, and the Board emphasized that the applicant needs to address compatibility issues related to intensity of uses. This amendment will be heard concurrently with the subject zoning application at the July 24, 2025 BCC public hearing. Aside from requiring concurrent adoption of the FLUA and Zoning applications, the Planning Division is proposing one additional condition, which has been applied subsequent to the Transmittal hearing. The condition limits development of the site under the CL FLU designation to a maximum of 1,426 daily trips, which is based upon the uses and intensities proposed by the Applicant on the certified site plan. The condition will be proposed for consideration should the Board vote to adopt an ordinance amending the FLU designation.

As detailed in the FLUA amendment staff report, the Planning Division is recommending denial of the requested land use amendment based upon the following: inadequate justification provided by the Applicant to satisfy FLUE Policy 2.1-f.; the high traffic generating uses proposed located directly adjacent to existing residential uses; does not further County Directions of FLUE Policy 2.1-g.; and, inconsistency with the recommendations of the Acreage Neighborhood Plan (ANP) and the Western Northlake Corridor Land Use Study (WNCLUS). The report concludes that the proposed amendment to CL/RR-2.5 is not suitable, appropriate or compatible. Please refer to the published FLUA amendment staff report for additional information and details.

- *Relevant Comprehensive Plan Policies:* Per Future Land Use Element Table 2.2-f.1, Non-Residential Future Land Use-Zoning Consistency, the proposed future land use designation of CL/RR-2.5 is consistent with the proposed MUPD Zoning District.

- *Transportation Element (TE) Policy 1.4-q.1:* The site is located along the south side of Northlake Boulevard and is subject to Transportation Element (TE) Policy 1.4-q.1., which requires a 50-foot Rural Parkway Easement to be dedicated exclusively for multipurpose paths. The

parkway concept intends to protect the rural character of areas outside of the Urban Suburban Tier. The Preliminary plans show a 50-foot Rural Parkway along the Northlake Boulevard frontage, consistent with this requirement. The Applicant will be required to submit a final Rural Parkway Planting Plan and Management Plan that will outline how the parkway will be designed, managed and maintained, to be approved by Staff prior to Final Approval by the Development Review Officer (DRO). Further, the Applicant will be required to submit, execute, and record a Rural Parkway Easement prior to Final Approval by the DRO. The Rural Parkway Easement shall be accompanied by Title Insurance specific to the easement area, and is subject to review and approval by the County Attorney's Office.

- **Intensity:** The request for a total of 15,295 sq. ft. equates to a Floor Area Ratio (FAR) of approximately 0.06 (15,295 / 258,213 sq. ft. or 5.93 acres = 0.059 or 0.06 rounded). A maximum FAR of 0.10 is allowed for the subject FLU designation in the Exurban Tier (258,213 sq. ft. or 5.93 acres x 0.10 maximum FAR = 25,821 sq. ft. maximum). The request is therefore below the maximum allowed.

- **Compatibility:** County Direction #4 establishes that "Land Use Compatibility" is one of the eighteen directions that are the basis for the Goals, Objectives and Policies of the Comprehensive Plan. The directive reads as follows: "Land Use Compatibility. Ensure that the densities and intensities of land uses are not in conflict with those of surrounding areas, whether incorporated or unincorporated." Several policies within the Plan's Future Land Use Element (FLUE) further address compatibility through the ULDC and development review process. FLUE Policy 2.2-c establishes that the ULDC is consistent with the Plan, and that consistency shall "ensure compatibility with adjacent future land uses." Further, FLUE Policy 4.3-i indicates (in part) that "the Development Review process shall also consider the compatibility of the density or intensity of proposed development with adjacent future land uses." The Planning Division published the following compatibility analysis in the February 5th BCC Transmittal Hearing report for the concurrent FLUA amendment:

The proposed amendment could potentially introduce commercial uses up to 25,831 square feet (.10 FAR) which is the maximum square footage by floor area ratio (FAR) allowed. The concurrent zoning application and preliminary site plan includes proposed uses such as retail gas or fuel sales (12 positions), a convenience store, ~~a car wash, [removed prior to Transmittal]~~ ~~a Type 1 restaurant with drive through, [removed following Transmittal hearing]~~ and a retail building. These uses are high trip generating vehicular based uses. Although the square footage needed for such uses is generally lower, the vehicular activity of these uses is higher than other commercial uses. In addition, the subject site is unique in that it is far smaller, less than half the size, of any of the other commercial sites approved in the area, narrower in depth, shares common property lines directly adjacent to residentially developed property to the south, with no other canal or roadway along the property lines to further buffer the proposed uses from residential uses or properties.

In the transmittal report, Planning staff recommended a condition of approval requiring that the adoption of the future land use amendment and zoning application are held on the same date in order to ensure the opportunity for any potential incompatibility issues to be addressed in coordination with the Zoning Division. Since Transmittal, the applicant has revised the zoning application to remove the Type 1 Restaurant with drive through and add a medical office building.

- **Special Overlay District/Neighborhood Plan/Planning Study Area:** The site is located within the boundaries of the Western Northlake Corridor Land Use Study (WNCLUS) and the Acreage Neighborhood Plan (ANP), which are recognized under FLUE Policy 4.1-c. Although not binding, the objectives and recommendations of neighborhood plans/studies recognized by the BCC shall be considered by the County. The Study Area and Neighborhood Plan are discussed in further detail in the concurrent FLUA Amendment staff report.

Western Northlake Corridor Land Use Study (WNCLUS): The study was a joint effort between the County and the Cities of Palm Beach Gardens and West Palm Beach and implemented through an interlocal agreement signed in 1999. The purpose of the WNCLUS is to determine appropriate land uses within the western Northlake Boulevard area to preserve and enhance the rural character, while also recognizing and planning for limited urban development. Based on direction from the BCC in 2008, a team comprised of staff from the County, the cities of West Palm Beach and Palm Beach Gardens, and the Indian Trail Improvement District, began an effort to update the WNCLUS, in particular to evaluate changed conditions since 1999 and re-evaluate commercial needs. A first amendment to the interlocal agreement was approved by the County and the two municipalities at the same time, adding the ability to update the Study. The update consisted of a memorandum to the BCC dated October 14, 2010 and presented to the BCC on October 25, 2010. While the proposed development is generally consistent with several of the recommendations of the Study, the proposed commercial uses are not consistent with the recommendations related to commercial, as existing commercial approvals already exceed the commercial demand findings of the Study.

The Acreage Neighborhood Plan (ANP): The site is located within the boundaries of the ANP. The ANP was received by the BCC in 1996 and was an independently written, community sponsored statement which reflects the desires of the Acreage Community as they related to land

use and other matters. The plan was prepared with oversight from the Planning Division. The neighborhood plan was most recently updated in 2008.

The subject site does not meet the recommendations of Recommendation L9 in that it is not greater than 10 acres. However, it would not result in more than 120 acres of commercially zoned property within the Acreage Unified Planning Area (approximately 72.25 acres on four sites approved and unbuilt, or built currently).

In addition, the request does not meet the recommendations of Recommendation L10, which specifies, “a limited number of fuel stations having no walk-in retail capacity and consisting of a maximum of ... eight dispensing nozzles total ... may be allowed on existing commercial sites...” The site does not currently have a commercial land use (a FLUA amendment to CL is in process), and a total of 12 fuel pumps and a 4,853 sq. ft. walk-in convenience store are proposed.

- **Planning Conditions:** Conditions are being proposed in order to apply the daily trip generation condition proposed within the concurrent FLUA amendment, and to carry out the requirements of the Transportation Element with regard to dedication of a Rural Parkway and corresponding Rural Parkway Easement.

b. Consistency with the Code - *The proposed amendment is not in conflict with any portion of this Code, and is consistent with the stated purpose and intent of this Code.*

The proposed Amendment is consistent with the stated purpose and intent of the County Unified Land Development Code (ULDC) subject to the finding of Consistency with the Comprehensive Plan as made by the BCC with the adoption of the FLUA Amendment.

- **BCC Transmittal Hearing FLUA Report Summary:** The following was provided in the Planning Division Staff Report that was transmitted to the State: At the February 5th BCC Transmittal Public Hearing, the Board transmitted the item in a motion by Vice Mayor Baxter, seconded by Commissioner Woodward, which passed in a 6 to 1 vote (with Commissioner Powell dissenting). The Board emphasized that the applicant needs to address compatibility issues related to intensity of uses. Board discussion included comments related to whether recommendations of the Acreage Neighborhood Plan (ANP) and Western Northlake Corridor Land Use Study (WNCLUS) reflected current conditions, and focused on the inappropriateness of residential on the site given its location, and the appropriateness of the proposed future land use as opposed to the specific uses proposed in the concurrent zoning application. The Board asked for clarification on the types of uses considered to be neighborhood serving as well as inquired about the recommendations in the ANP related to gas stations. One member of the public spoke in support, supporting commercial for local jobs, and to reduce drive times for residents. Three members of the public spoke in opposition, citing inconsistency with recommendations of the ANP and WNCLUS, potential impacts to potable water wells and adjacent drainage facilities, the already existing and approved unbuilt gas stations, increases in traffic, incompatibility with adjacent residential, and the lack of support by the Acreage Land Owners Association.

- **Subsequent to the FLUA Amendment Transmittal Hearing.** Following the Transmittal Public Hearing, the County received over 350 emails in opposition to the FLUA amendment and Zoning application as sampled in Exhibit E.9 Correspondence. The Applicant provided a response to the issues raised in these emails at the end of the Justification Statement in Exhibit E.8.

In response to comments raised by the BCC at the Transmittal Hearing, the Applicant made changes to the zoning application and site plan as detailed in the document added to the end of Exhibit E.8. The Applicant states that the intent of these changes is *“to directly address concerns related to land use intensity, neighborhood compatibility, and site circulation. These revisions were carefully crafted to reduce potential impacts on surrounding residents while preserving the viability and function of the proposal.”* These changes are summarized below.

- Eliminated the proposed Type 1 Restaurant with drive through and Car Wash
- Relocated the access point and outdoor dining to the northern side of the Conv. Store
- Improved circulation around the proposed buildings
- Added an 8 foot wall along the eastern property line and proposed grass parking
- Improved the buffers and preserve area along the southern property line abutting residences
- Addressing Fueling Station concerns

- **Property Development Regulations:** The proposed rezoning to Multiple Use Planned Development (MUPD) Zoning district will be subject to the property development regulations of Art 3, Table 3.D.1.A, Property Development Regulations. The property is in compliance with Code requirements for minimum lot dimensions of three acre size, 200 ft. of width and frontage, and 200 ft. of depth, as the site is 5.93 acre lot, as depicted in Exhibit E.1 Preliminary Site Plan. Frontage is from Northlake Boulevard, with access from both Northlake Boulevard and Seminole Pratt Whitney Road, continuing to meet the requirements for the Planned Development District. The actual development area of the subject site will be impacted by the dedication of right-of-way and 50 foot rural parkway on Northlake Boulevard, and the dedication of

right-of-way on Seminole Pratt-Whitney Boulevard. The remaining developable area is just of 4 acres as shown in the white outline in the graphic below.

Also of note, the area in blue is approximately 6 acres and represents a Future Stormwater Pond (Pond) under construction by the County. The Pond was acquired by the County for the Seminole Pratt Whitney Road and Northlake Boulevard expansion projects and provides water quality and storage for portions of both roadways. Once construction is complete, the County intends to turn over ownership to Indian Trail Improvement District (District) for the District to operate and maintain, which is typical for other Ponds in the District. As discussed under the Drainage District analysis, the Applicant’s preference is to drain to this new Pond upon its completion, rather than to the north.



○ **Public and Private Civic:** The proposed request is for a Multiple Use Planned Development, which is adjacent to land owned by Palm Beach County. *“The BCC may require that a portion of the gross acreage of the development be dedicated to PBC for public purposes, when insufficient facilities are available to allow for the provision of government services required for the proposed development. The dedication of such property shall be in accordance with Art. 3.E.2.E.4.c.1), Public Civic. The PDRs for the PO district shall apply to the civic parcel.”* During the review of the Application, the site or a dedication of the land was not identified by Property Real Estate Management (PREM) for public.

○ **Use criteria (Retail Gas and Fuel Sales with Convenience Store)** – Staff has analyzed the proposal and has determined that the project is in compliance with the minimum standards for Convenience Store as listed on Article 4.B.2.C.15 as well as for Retail Gas and Fuel Sales use as listed on Article 4.B.2.C.15. including Site Requirements and Location Criteria.

Although the site meets the minimum requirements for Retail Gas and Fuel Sales, there is no standard for the number of pumps; therefore, Staff have analyzed the number of pumps under the Design Minimizes Adverse Impacts section of this report. The Preliminary Site Plan indicates 12 fueling stations with a proposed 4,853 sq. ft. of Convenience Store (Building A). The proposed Gas Station complies with both intersection and separation criteria as this will be the only establishment at the proposed intersection and the nearest existing Convenience Store with Gas and Fuel Sales is located 2 miles south of this site; and an approved but unbuilt Gas and Fuel Sales establishment is proposed to be located approximately 3 miles east from this site. Staff have included Conditions of Approval for the Class A Retail Gas and Fuel Sales request as described under Design Minimizes Adverse Impacts on the number of fueling positions.

Applicant is also proposing two additional uses on site, Retail Sales and Medical Office both which are permitted by right in the MUPD Zoning District. PSP depicts Building B with 5,221 sq. ft. of Retail Sales and 5,221 sq. ft. for Medical Office. Staff analyzed both uses and has determined they are in compliance with the ULDC requirements.

○ **Uses Allowed** – The MUPD Zoning District under the Commercial Low future land use designation allows a range of uses, some of which require BCC approval as part of a public hearing, and some that are subject to Administrative Approval with no public hearing. The table below identifies the uses proposed within this application, and other uses that could be allowed through subsequent development order amendments through public hearing or administrative modifications with no public hearing. As shown, the MUPD zoning district allows for many different types of commercial uses with varied approval processes.

Art. 4 Use Matrix – Uses Allowed in CL/MUPD

Use Type	Use	Public Hearing	Administrative
Commercial in subject application	Gas and Fuel Sales	BCC – Class A	-
	Convenience Store	-	Permitted by right
	Retail Sales	-	Permitted by right
	Office, Business/Professional and Medical/Dental	-	Permitted by right
Commercial potential	Car Wash	BCC – Class A	-
	Cocktail Lounge	BCC – Class A	-
	Financial Institution	BCC – Class A	-
	Laundry Service	BCC – Class A	-
	Restaurant and Restaurant with Drive Through	BCC – Class A	-
	Self Service-Storage	BCC – Class A	-
	Vehicle Sales and Rental, Light	BCC – Class A	-
	Repair and Maintenance	-	DRO Approval
	Green Market	-	DRO Approval
	Catering Services	-	Permitted by right
	Commercial Kennel Type 3	-	Permitted by right
	Personal Services	-	Permitted by right
	Veterinary Clinic	-	Permitted by right
	Vocational Institution	-	Permitted by right
Recreational	Indoor and Outdoor Entertainment	BCC – Class A	-
	Fitness Center	BCC – Class A	-
Institutional	Animal Shelter	BCC – Class A	-
	College or University	BCC – Class A	-
	Crematory and/or Funeral Home	BCC – Class A	-
	Hospital	BCC – Class A	-
	Skilled Nursing or Residential Treatment Facility	BCC – Class A	-
Industrial	Data and Information Processing	BCC – Class A	-
	Multi-Media Production	BCC – Class A	-
	Research and Development	BCC – Class A	-
	Medical or Dental Laboratory	-	Permitted by right

- *Architectural:* The development is required to comply with the Architectural Guidelines pursuant to Article 5.C, Design Standards. Elevations are required to be consistent in Architectural Character. The Applicant provided elevations and Staff determined they are in compliance with Article 5.C in addition to the Rural Design Elements standards to non-residential projects in the Rural and Exurban Tiers. Elevations can be seen in Exhibit E-4
- *Parking:* The Applicant had the option to use either the parking requirements under Article 3.E.1.C.h.2)a) PDD Performance Standards Parking Non-Residential Uses or to use the requirements from Article 6 Table 6.B.1.B for Minimum Parking and Loading Requirements. The Applicant chose the ratio parking under Article 3. The ULDC allows a range of parking from 4 spaces per 1,000 sq. ft. to 6 spaces per 1,000 sq. ft. for an MUPD. The required parking for the overall development based on 15,295 sq. ft. is 61 spaces. The Preliminary Site Plan indicates 85 parking spaces for the entire MUPD. Staff have included Conditions of Approval for the MUPD as described under the Design Minimizes Adverse Impacts. In addition, the required loading space is provided as well.
- *Landscape/Buffering:* The development includes the following proposed perimeter buffering:
 - North property line indicates a 20 foot Right of Way Landscape Buffer with a 5 foot utility easement overlap and within the 50 foot Rural Parkway Easement along Northlake Boulevard.
 - South property line indicates a 20 Type 3 Incompatibility Buffer with a 8 foot opaque wall followed by 14,480 sq. ft. of Tree Preserve area.
 - East property line indicates a 15 Type 2 Incompatibility Buffer with a 8 foot opaque wall. Staff has added a Condition of Approval for the MUPD to extend the wall to the northernmost edge of the dumpsters along this property line.
 - West property line depicts a 20 foot Right of Way Buffer with a 5 foot utility easement overlap.

The site plan indicates the required foundation plantings around the proposed buildings, as well as the required landscape islands in the parking. Removal of existing vegetation will require permits from Zoning and review for replacement. Staff have included Conditions of Approval for the MUPD as described under Design Minimizes Adverse Impacts.

- **Signage:** The Applicant is proposing two monument signs, one at the Northlake Boulevard entrance and the other one at the Seminole Pratt Whitney entrance as well as wall mounted signs for the proposed buildings and fuel canopy, all in accordance with Article 8 of the ULDC.
 - **Hours of Operation:** Due to the proximity of the Commercial development to residential, the ULDC restricts the Hours of Operation from 6 am to 11 pm. Because of the proximity, Staff recommends Conditions of Approval for the MUPD and Class A request for additional restrictions to mitigate the impact on the adjacent residential uses, as described under Compatibility.
- c. Compatibility with Surrounding Uses - *The proposed use or amendment is compatible and generally consistent with the uses and character of the land surrounding and in the vicinity of the land proposed for development.***

Compliance with the Compatibility with Surrounding Uses is contingent upon a finding by the Board of County Commissioners that the proposed Future Land Use Atlas (FLUA) amendment (LGA 2024-002) to change the subject site from RR-2.5 to Commercial Low (CL) future land use meets the policies of the Comprehensive Plan, including a finding that the future land use designation is compatible with surrounding properties and the area. The establishment of this site with CL future land use will be the establishment of a new commercial node. The subject site is more than 2 miles away from other Commercial future land use and zoning. Although the property is approximately 269 feet deep, there is only 120 feet of developable depth with the inclusion of the 50 foot Rural Parkway required along the Northlake Blvd. frontage, a 100 foot vegetative setback. The limited depth has created a design challenge to incorporate the uses and design proposed by the Applicant.

As stated under the Comprehensive Plan consistency section of this report, the Applicant has modified the site plan to incorporate a larger buffer and preserve area to the south to mitigate negative impacts on the adjacent residential properties. However, ideally high-intensity, high-trip generating uses should not be located immediately abutting residential properties. As seen throughout the County since the 1989 Comprehensive Plan was adopted, the bulk of the convenience stores with gas sales have been approved as part of larger commercial plazas which utilize other commercial uses, such as retail and office, to separate and provide a transition to residential uses.

For the purposes of the zoning application, the finding for compatibility is based in part by the zoning district and in part by the site plan, proposes uses in this application, and allowable uses pursuant to Art. 4, Use Regulations. Compatibility of the zoning and the proposed Conditional Use have a relation to the design, layout and function of the site. Staff have included Conditions of Approval for the MUPD and Class A request relating to the Retail Gas Use for location, buffering, lighting, and building placement. These conditions mitigate the impacts of the use adjacent to Residential.

- d. Design Minimizes Adverse Impact – *The design of the proposed use minimizes adverse effects, including visual impact and intensity of the proposed use on adjacent lands.***

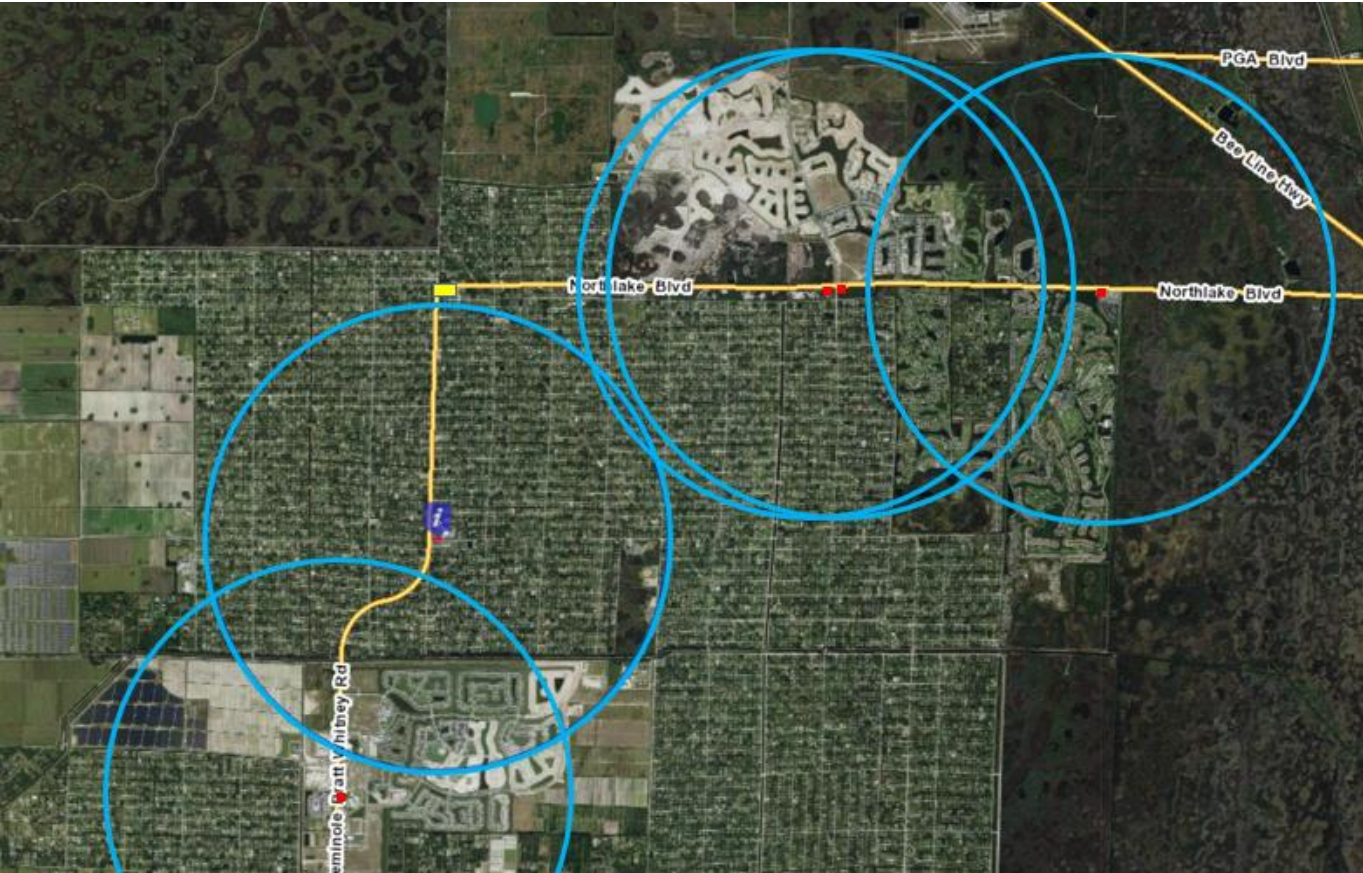
Landscape design of the site is proposed to help minimize adverse impact to surrounding lands, including a 50 foot Rural Parkway Easement which includes the required 20-foot ROW landscape buffer on the north side of the site, a 20 foot buffer along Seminole Pratt Whitney Road and a Type 3 Incompatibility buffer along the south property line. The Applicant intends to preserve existing vegetation in order to comply with requirements for Environmental Resources Management (ERM). The vegetation along these roadways and the south property line include native slash pines. Development around slash pines must include protective measures as they are prone to die when development is in proximity of their root systems. The site is lower than the adjacent right of way which will require fill to be added to the site in order to meet the requirements of Article 18, Flood Prevention and Florida Building Code.

One of the challenges for the review of this application is that the County does not require civil plans with the site plan review and approval. Therefore, there is no ability to ensure at this time that the development of the site will not require the use of retaining walls, berms or other elevation changes that may negatively impact the ability to preserve the native vegetation on site. Slash Pines are extremely sensitive to changes in elevation and can die with root disturbances. Further, raising the site would increase the visual, noise, and lighting impacts on adjacent residences and increase the appearance of the site as a suburban or urban design. Staff is recommending Conditions of Approval for the MUPD to address any required raising of the site's elevation for compliance with building and flood plain requirements to ensure that retaining walls and berms are prohibited and that there is a gradual grading (maximum slope 4:1) to prevent impacts on the preserved vegetation. Staff is recommending Conditions of Approval for the MUPD to require the installation of an 8 foot opaque wall within the required landscape buffers on the south and east property lines to reduce visual impact to the parcels directly adjacent to the site. In addition, Staff recommends that the south and east property lines be upgraded to modify the requirements for palms and pines be restricted to pines and that they planted 1 pine for each 15 feet of property line, and that canopy trees be installed at varied heights of 14, 16, and 18 feet. In addition, Staff has added a Condition of Approval for the installation of new vegetation for Interior Landscaping to prohibit palms in lieu of Canopy trees except for existing palms on site.

Beyond landscape buffers, the Convenience Store, Retail and Medical Office buildings are setback 94 feet from the south property line. Staff recommends Conditions of Approval for the MUPD and Class A request to ensure that the buildings do not move closer to the south property line than the minimum 94 foot setback.

The Applicant's Justification Statement does not provide information to demonstrate the demand or need for retail gas and fuel at this location, or for the number of fueling positions proposed. The approval cannot be based on financial feasibility, as stated in ULDC Art. 2.B. The applicant provided a graphic in Exhibit E.8 detailing the gas stations in the general area. Staff prepared the graphic below depicting the approved built and un-built retail gas and convenience store uses with a two mile radii around each in blue, and the subject site in yellow. Considering the location of already approved built and un-built retail gas sales and convenience stores in the area, this area of The Acreage appears to be becoming well served with gas sales, particularly considering that there have been no density increases in the Acreage Neighborhood Planning Area since the 1989 Plan was adopted. Density increases in the Central Western Communities, and corresponding increase in demand for non-residential uses, have largely stemmed from the large land holdings which have been approved for an increase in both residential density and non-residential intensity. Many of these sites were recognized in the Central Western Communities Sector Plan, Avenir, Indian Trail Groves, and Minto West (now Westlake), as an opportunity to incorporate additional non-residential development to balance the land uses for this portion of the County which had been historically low-density single use residential (and agriculture).

The County approved built and un-built commercial uses to the east in the newly annexed area in Palm Beach Gardens. Two gas stations are approved on the south side of Northlake Boulevard, one existing approximately 4.9 miles to the east, and a second, unbuilt, approximately 3 miles to the east. In addition, a second site is located three miles to the east proposed and under review by Palm Beach Gardens with a convenience store with gas sales which is represented by the Applicant's Agent. Approximately 2.2 miles to the east of the subject development Palm Beach Gardens has another commercial and project under review for residential and non-residential uses. This site may allow a Convenience Store with gas sales administratively. Finally, 2.08 miles to the south, along Seminole Pratt Whitney Road there is an existing Convenience Store with Gas Sales.



The site plan proposes 12 fueling positions beginning approximately 78 feet setback from the south property line. Accommodating the proposed number of fueling positions creates challenges considering the size of the subject site, internal circulation, and location immediately abutting residential properties. The noise, lights, and activity within a short distance of residences creates compatibility concerns, and the proposed design with regards to the 78 foot setback does not minimize adverse impacts. Typically the canopy includes brighter lights for patron visibility. A reduction in pumps, along with an increased setback, would provide additional protections for the adjacent residential from light intrusion and glare. Staff is recommending Conditions of Approval for the MUPD to restrict the lighting heights due to proximity to residential, a reduction in the maximum illumination under the canopy and in parking areas, and a reduced maximum and minimum ratio. Staff is recommending a Condition of Approval to limit the Class A request to 10 fueling positions to accommodate improved circulation and separation from residences to the south with a 94 foot setback for the canopy. Further, the Acreage Neighborhood Plan recommends a maximum of 8 fueling positions. If the Board choses to implement the maximum number of pumps recommended by the Neighborhood Plan, this condition would be modified for a maximum of 8 fueling positions.

[illegible]

- Department of Environmental Resources Management was provided this application for review. They provided the following Analysis:

- There are Tree Preservation Areas along the north and south property lines noted on the plans which will preserve the existing vegetation on site consisting of primarily Slash Pines and Sabal Palms pursuant to the ULDC, Article 14.C.7.C.5.h. which consists of 0.91-acres. Staff is requiring a condition of approval to be put in place that the trees within these Preservation Area be maintained in perpetuity and a Tree Preservation Area Management Plan be submitted prior to final DRO approval. Planning has agreed that the Tree Preserve Area along the north property line can be collocated with the Rural Parkway Easement. A Rural Parkway Management Plan is to be provided via condition of approval to ensure the area is protected.

- West End Crossing MUPD
PDD/CA-2023-00843

- f. Development Patterns** – *The proposed amendment will result in a logical, orderly, and timely development pattern.*

Compliance with the Development Patterns is contingent upon a finding by the Board of County Commissioners that the proposed Future Land Use Atlas (FLUA) amendment (LGA 2024-002) to change the subject site from RR-2.5 to Commercial Low (CL) future land use meets the policies of the Comprehensive Plan, including a finding that the future land use designation is compatible with surrounding properties and the area.

The future land use amendment will establish this site, and the intersection of Northlake Boulevard and Seminole Pratt Whitney Road, as a new commercial node with a new development pattern. The development pattern of this area is current residential with single family residential uses, with the next largest pattern being preservation/conservation land. Supportive recreation, civic/institutional, and agricultural uses are in the area as well. Should the Board approve the FLUA amendment, then the proposed rezoning to MUPD would be consistent with the future land use designation and new development pattern establishing a commercial node on the subject site.

- g. Adequate Public Facilities** – *The proposed amendment complies with Art. 2.F, Concurrency (Adequate Public Facility Standards).*

TRAFFIC DIVISION:

The Department of Engineering and Public Works Traffic Division were provided this application for review. They provided comments throughout the review of this application. The proposed commercial development is expected to generate 1,426 net daily trips, 100 net AM peak trips, and 109 net PM peak hour trips. The build out of the project is assumed to be by 2030.

With on-going roadway improvements in the area, the project will meet adopted Level of Service (LOS) of the roadways. The intersection of Northlake Blvd and Coconut Blvd will have background failure. The intersection of Northlake Blvd with Seminole Pratt Whitney Rd and Orange Blvd with Seminole Pratt Whitney Rd will meet adopted LOS.

The site will have a full access on Northlake Blvd and a right-in/right-out access on Seminole Pratt Whitney Rd. An east approach left turn lane will be constructed at the driveway on Northlake Blvd.

ADJACENT ROADWAY LEVEL OF SERVICE (PM PEAK)

Traffic volumes are in vehicles per hour

Segment: Northlake Blvd from Seminole Pratt Whitney Rd to 140th Ave

Existing count: Eastbound=377, Westbound=732

Background growth: Eastbound=1049, Westbound=1056

Project Trips: Eastbound=32, Westbound=28

Total Traffic: Eastbound=1458, Westbound=1816

Present laneage: 1 in each direction

Assured laneage: 2 in each direction

LOS "D" capacity: 880/1960 (present/assured)

Projected level of service: LOS D or better in both directions with assured lanes

LAND DEVELOPMENT:

The Department of Engineering and Public Works Land Development Division provided comments throughout the review of this application and requested modification have been incorporated by the Applicant. The Property Owner will construct onsite drainage facilities, including pavement, curbs, grass swales, storm inlets, exfiltration trenches, underground storage system, and conveyance piping. The site is within the Indian Trail Improvement District (ITID) service area upper M-1 basin and subject to permitting from ITID, PBC and SFWMD.

The Property Owner will construct a stormwater drainage system from their site to the point of legal positive outfall and that location at which it will outfall will depend on the timing of construction of this development and the Northlake Boulevard roadway project. A drainage system has to be constructed within the Seminole Pratt Whitney Road right-of-way and/or Northlake Boulevard right-of-way to one of the nearby ITID maintained canals, which would require permits from ITID and PBC. Once the Northlake Boulevard roadway project is complete, the Property Owner can apply for a permit with ITID to connect to the adjacent drainage system.

The property associated with the application was found to comply with the regulations and code requirements of the ULDC under the authority of the Land Development Division, subject to the following Conditions of Approval for the MUPD:

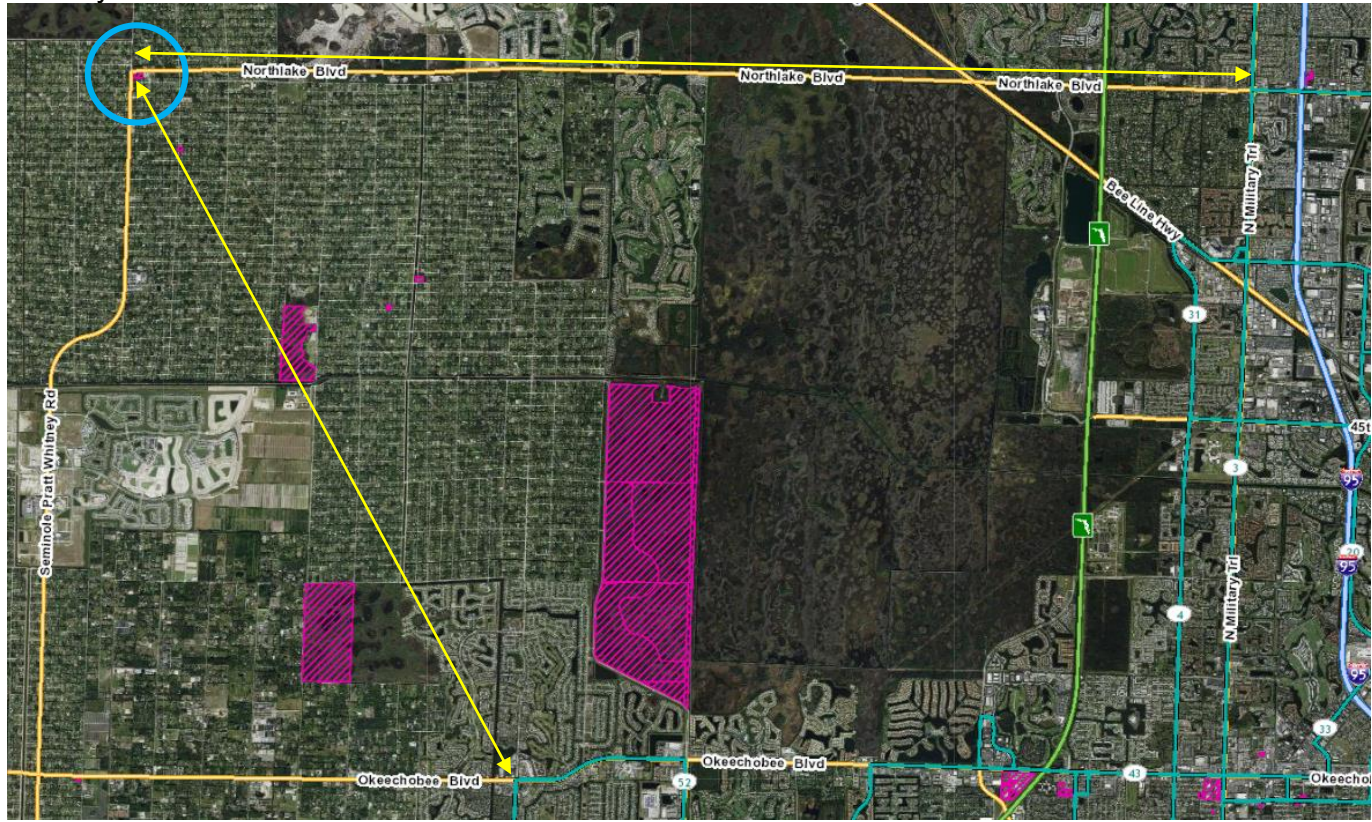
The Property Owner shall submit a drainage study that identifies historical flows that currently enter the site prior to the Final Site Plan approved by the DRO.

The Property Owner shall configure the property into a legal lot of record.

The Property Owner shall fund and construct a drainage system from the project site to the point of legal positive outfall, construct two turn lanes on Northlake Boulevard and dedicate right-of-way associated with the right turn lane.

MASS TRANSIT:

Palm Tran Review Staff were provided this application for review and had no comments. There are no bus stops within a 1/2 mile of the subject property. The nearest bus routes are either 11.4 miles east at Military Trail and Northlake Boulevard, or 12.39 miles south and east of the site at Okeechobee Boulevard and Royal Palm Beach Boulevard.



DRAINAGE DISTRICT:

The subject site is within the Indian Trail Improvement District (ITID) service area. ITID Review Staff were provided this application for review. During the review ITID Staff made comments regarding legal positive outfall and concerns were summarized to ITID Board during their Governmental update meeting, see attached letter (Exhibit E-10). While the site is within ITID upper M-1 basin, it is not adjacent to any of their facilities. For compliance with Adequate Public Facilities, specifically drainage, Article 2.F states, “*The drainage component shall be approved if the proposed development has a legal right to convey stormwater to a point of legal positive outfall or meets the exemption provisions of Art. 5.E.3 Drainage.*” Because the drainage facilities adjacent to the property to the east are not in place, Staff could not approve statements for LPO to go to that containment area. See Land Development Staff Analysis for additional information.

The Applicant’s Engineer provided a Drainage Statement (Exhibit E-6) and states, “*First option for the point of legal positive outfall, if the roadway is complete when the project is approved for construction, will be the adjacent proposed Palm Beach County (PBC) drainage system. The specific connection will be to the stormwater pond to the east of the property. Currently the system is wholly contained in PBC land and a permit modification of the PBC permit will be required. Eventually, PBC plans to transfer ownership of land to the east of the site to ITID. If the project is still within permitting after PBC dedicates the land to ITID, then a PBC permit modification will not be required and a direct connection to ITID will be sought as ITID will own the stormwater pond. In either case, the owner will apply for a Special Permit that meets the ITID SWM Policy requirements. Second option for the point of legal positive outfall, if the county roadway is not complete when the project is approved for construction, will be the ITID canal located approximately 375’ north of the project. The site’s allowable discharge will be conveyed in new piping within the Seminole Pratt Whitney Road ROW.*”

WATER AND WASTEWATER PROVIDER:

The subject site is within the water and wastewater service boundaries of the Palm Beach County Water Utilities Department (PBCWUD). PBCWUD Review staff provided comments throughout the review of this application that have been addressed by the applicant. As stated in the PBCWUD letter (Exhibit E-7), Concurrency Reservation for both water and wastewater and that 54.90 ERCs for Potable Water and 54.90 ERCs for Wastewater have been reserved for this development.

PALM BEACH COUNTY HEALTH DEPARTMENT:

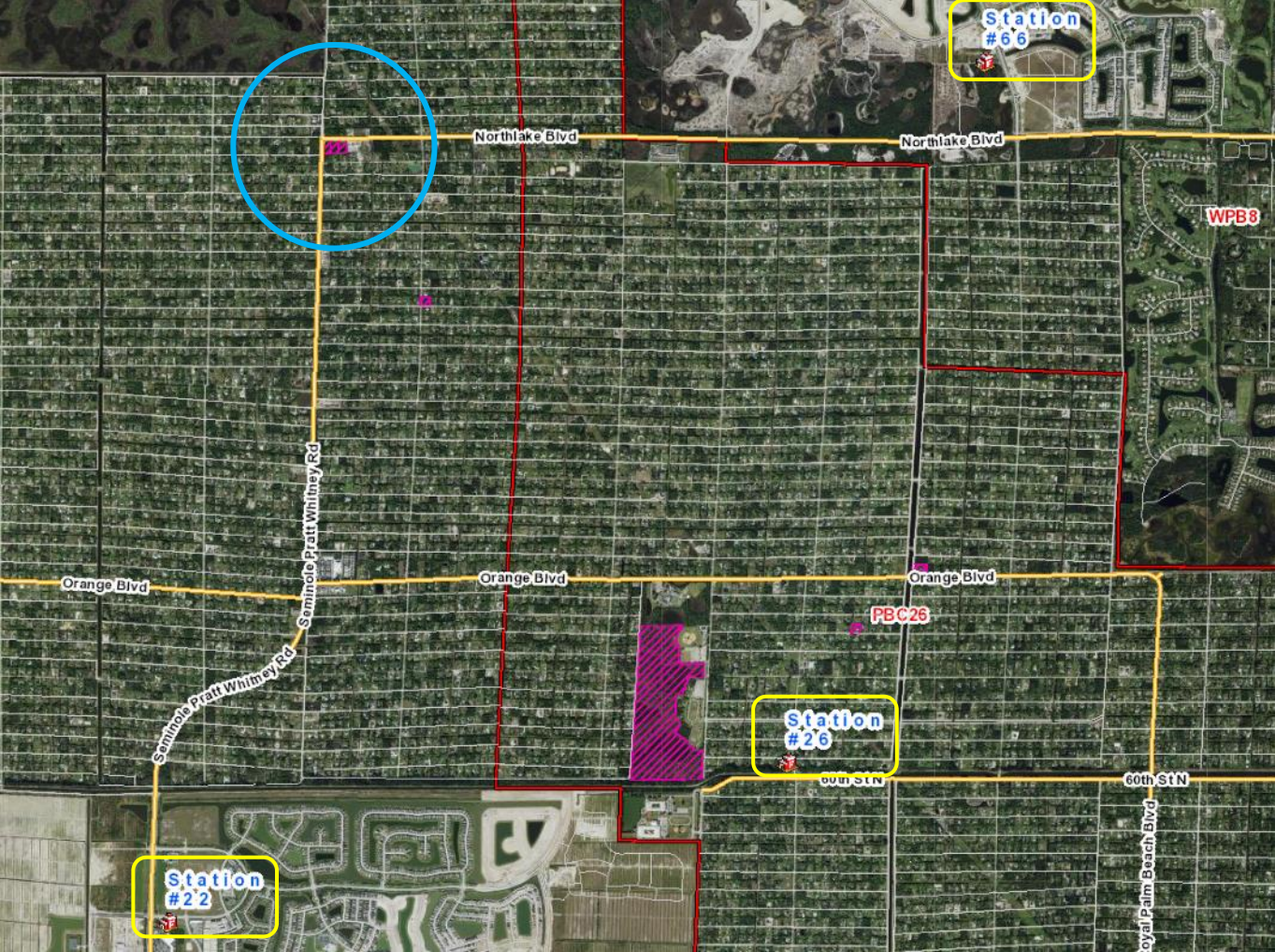
The Florida Department of Health Review Staff were provided this application for review and had no comments. The Applicant is required to obtain all applicable permits from the Department of Health prior to the issuance of a building permit.

PARKS AND RECREATION:

The Parks and Recreation Department Review Staff have were provided this application for review. During the review they stated, *“This is a non-residential application, therefore Park and Recreation Department ULDC standards do not apply.”*

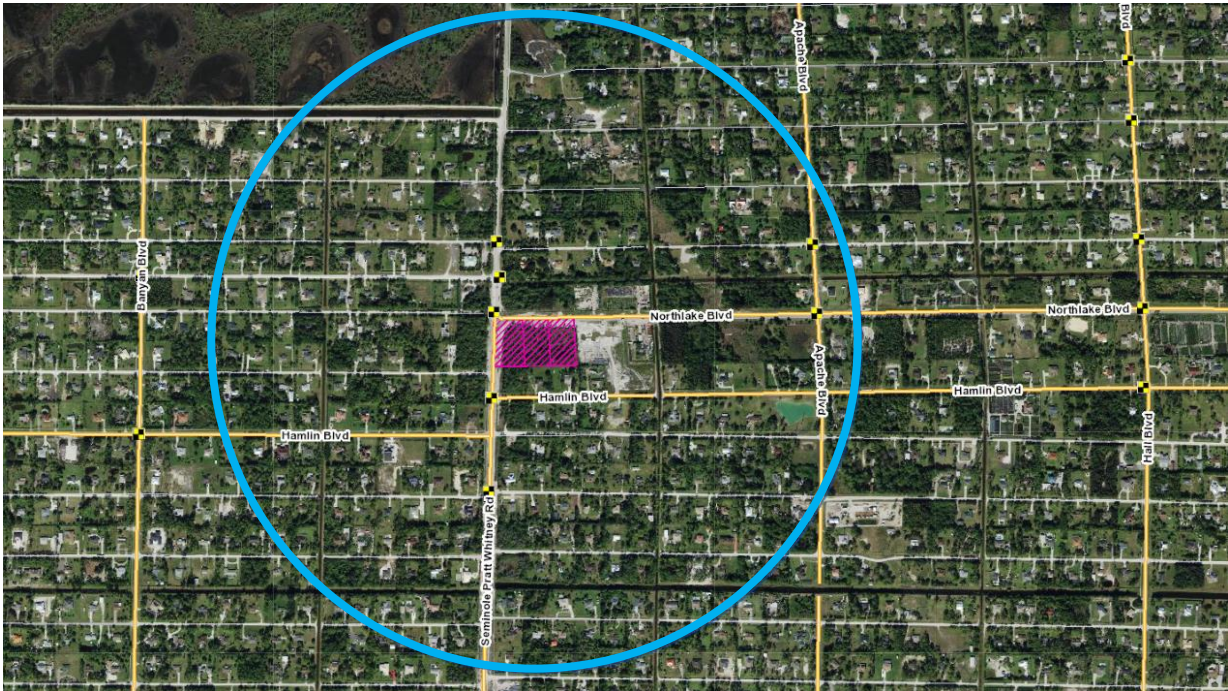
FIRE PROTECTION:

Fire Rescue Review Staff were provided this application for review. During the view they stated, *“Disclaimer: Site plan review and approval by the AHJ shall not relieve the owner and design team of the responsibility of compliance with the Florida Fire Prevention Code, adopted NFPA standards and local Palm Beach County fire rescue amendments (NFPA 1, section 1.14.4). Any design seeking relief from a specific fire code requirement shall obtain an approved waiver.”* The development is within the service boundary of Palm Beach County Fire Rescue Station 22.



SCHOOL IMPACTS:

The PBC School District Review Staff were provided this application for review. During the review they stated, *“The School Board has no comment regarding this non-residential application.”* There are approximately seven school bus stop locations within ½ mile of the subject property.



h. Changed Conditions or Circumstances – *There are demonstrated changed site conditions or circumstances provided by the Applicant’s Justification Statement that necessitate the amendment.*

The Applicant’s Justification Statement indicates the following justification for their changed conditions of circumstances: *“The recent approval and commencement of construction on the Avenir planned development, located just east of the subject property within the Palm Beach Gardens municipal boundary constitutes a significant change in conditions and circumstances. This development, in combination with persistent residential development in the residential areas to the south and east of the site, results in a significant increase in demand for retail and gas station services in the near future.”*

Exhibit C-1 - Conditions of Approval

Non Residential Planned Development District

ALL PETITIONS

1. The approved Site Plan is dated May 19, 2025. Modifications to the Development Order inconsistent with the Conditions of Approval, or changes to the uses or site design beyond the authority of the Development Review Officer as established in the Unified Land Development Code, must be approved by the Board of County Commissioners. (ONGOING: ZONING - Zoning)

BUILDING AND SITE DESIGN

1. All buildings shall be a minimum of 94 feet from the south property line. (BLDGPMT/DRO: ZONING – Zoning)

2. The eight (8) parallel parking spaces located on the south side of Building B shall be grass parking spaces. (DRO: ZONING-Zoning)

ENGINEERING

1. Pursuant to the Traffic Analysis dated April 14, 2025, the Buildout Date is December 31, 2030. No Building Permits for the site may be issued after December 31, 2030. A time extension for this condition may be approved by the County Engineer based upon an approved Traffic Study which complies with Mandatory Traffic Performance Standards in place at the time of the request. This extension request shall be made pursuant to the requirements of Art. 2.E of the Unified Land Development Code. (DATE: MONITORING - Engineering)

2. The Property Owner shall construct i) left turn lane east approach on Northlake Blvd at project entrance, ii) right turn lane west approach on Northlake Blvd at project entrance, all as approved by the County Engineer. This construction shall be concurrent with the paving and drainage improvements for the site. Any and all costs associated with the construction shall be paid by the Property Owner. These costs shall include, but are not limited to, utility relocations and acquisition of any additional required right-of-way.

a. Permits required from Palm Beach County for this construction shall be obtained prior to the issuance of the first building permit. (BLDGPMT: MONITORING - Engineering)

b. Construction shall be completed prior to the issuance of the first Certificate of Occupancy. (BLDGPMT/CO: MONITORING - Engineering)

3. Prior to the issuance of the first building permit, the Property Owner shall configure the property into a legal lot of record in accordance with provisions of Article 11 of the Unified Land Development Code or as otherwise approved by the County Engineer. (BLDGPMT: MONITORING - Engineering)

4. The Property Owner shall provide an acceptable drainage study identifying any historical drainage from offsite parcels, including proposed grading cross sections. The project's stormwater management system shall be designed to address any historical drainage. The Property Owner shall provide drainage easements, as required, to accommodate offsite drainage.

a. Drainage study shall be provided to the Land Development Division prior to final approval of the Site Plan by the DRO. (DRO: ENGINEERING - Engineering)

b. Any required drainage easements shall be dedicated in conjunction with the plat or recorded prior to issuance of the first building permit, whichever shall occur first. (BLDGPMT/PLAT: ENGINEERING - Engineering)

5. The Property Owner shall construct the stormwater conveyance system from this site to the point of legal positive outfall. Any and all costs associated with the construction shall be paid by the Property Owner. These costs shall include, but are not limited to, utility relocations, design, construction and acquisition of any additional required right-of-way needed for the construction of said drainage system.

a. Permits required for Improvements identified above shall be obtained from Palm Beach County and Indian Trail Improvement District prior to the issuance of the first Building Permit. (BLDGPMT: MONITORING - Engineering)

b. Construction shall be completed prior to the issuance of the first Certificate of Occupancy. (BLDGPMT/CO: MONITORING - Engineering)

6. Prior to the issuance of the first building permit or within ninety (90) days of a request by the County Engineer, whichever shall occur first, the Property Owner shall provide to Palm Beach County Right of Way Section of Roadway Production Division by warranty deed additional right of way for the construction of a right turn lane on Northlake Boulevard at the project's entrance. This right of way shall be a minimum of 280 feet in storage length, a minimum of twelve feet in width and a taper length of 50 feet, or as approved by the County Engineer. Additional width may be required to accommodate paved shoulders. The right

of way shall continue across the project entrance. This additional right of way shall be free of all encumbrances and encroachments and shall include Corner Clips where appropriate, as determined by the County Engineer. Property Owner shall provide Palm Beach County with sufficient documentation acceptable to the Right of Way Section to ensure that the property is free of all encumbrances and encroachments, including a topographic survey. The Property Owner must further warrant that the property being conveyed to Palm Beach County meets all appropriate and applicable environmental agency requirements. In the event of a determination of contamination which requires remediation or clean up on the property now owned by the Property Owner, the Property Owner agrees to hold the County harmless and shall be responsible for all costs of such clean up, including but not limited to, all applicable permit fees, engineering or other expert witness fees including attorney's fees as well as the actual cost of the clean up. The Property Owner shall not record the required right of way or related documents. After final acceptance of the location, legal sketches and dedication documents, Palm Beach County shall record all appropriate deeds and documents (BLDGPM/ONGOING: MONITORING - Engineering)

ENVIRONMENTAL

- 1. All existing native vegetation within the Tree Preservation Areas along the north and south property lines as depicted on the Site Plan shall be preserved and maintained in perpetuity (ONGOING: ENVIRONMENTAL RESOURCES MANAGEMENT - Environmental Resources Management)
- 2. Prior to final approval by the Development Review Officer (DRO), a Tree Preservation Area Management Plan shall be provided to ERM for review and approval for Tree Preservation Areas along the north and south property line as depicted on the Site Plan. (DRO: ENVIRONMENTAL RESOURCES MANAGEMENT - Environmental Resources Management)
- 3. All trees preserved and relocated in the Rural Parkway Easement shall be maintained in aesthetic form consistent with the Rural Parkway requirements as acceptable by The Environmental Resources Management Division and Planning Division. (ONGOING: ENVIRONMENTAL RESOURCES MANAGEMENT - Environmental Resources Management)

LANDSCAPE – GENERAL

- 1. There shall be no berms or retaining walls used onsite. Grading of the site shall maintain no more than a 4:1 slope and limit impacts on preserved vegetation on site. (BLDGPM/ONGOING: ZONING –Zoning)
- 2. The installation of new vegetation to meet the requirements for Palms and Pines within Right of Way and Incompatibility buffers shall be limited to Pines. (BLDGPM/ONGOING: ZONING – Zoning)
- 3. The installation of new vegetation for Interior Landscaping requirements shall not utilize palms in lieu of Canopy trees, with the exception of existing palms on the site. (BLDGPM/ONGOING: ZONING – Zoning)

LANDSCAPE - PERIMETER- SOUTH PROPERTY LINE

- 4. The landscape buffer width along the south property line, as depicted on the preliminary site plan dated May 19, 2025 which contains a 20 foot Type 3 Incompatibility Buffer with an eight (8) foot wall and Tree Preserve Area, shall not be reduced. (ONGOING: ZONING - Zoning)

LANDSCAPE - PERIMETER-ALONG THE SOUTH AND EAST PROPERTY LINE

- 5. In addition to the Code requirements, the landscape buffer shall be upgraded to include:
 - a. an eight (8) foot high concrete wall; and
 - b. canopy trees at time of installation shall be a variety of heights of 14, 16 and 18 feet; and
 - c. one pine for each 15 lineal feet. (ONGOING: ZONING - Zoning)

LANDSCAPE - PERIMETER- EAST PROPERTY LINE

- 6. The eight (8) foot high concrete wall shall be extended to the northernmost edge of the dumpsters along the east property line. (ONGOING: ZONING - Zoning)

LIGHTING

- 1. All outdoor lighting fixtures shall not exceed 15 feet in height, measured from finished grade to highest point. (ONGOING: BUILDING DIVISION - Zoning)
- 2. All outdoor lighting shall be extinguished no later than 11:30 p.m., excluding security lighting only. (ONGOING: BUILDING DIVISION - Zoning)
- 3. Maximum foot-candles at all property lines shall be 0.00. Lighting shall be shielded from the east and south property lines and oriented downward to the ground. (BLDGPM/CO: ZONING – Zoning)
- 4. Maximum Illumination shall be 10.00 for the parking lots and 20.00 under the canopy. The maximum / minimum ratio shall be 10:1. (BLDGPM/CO: ZONING – Zoning)

PLANNING

1. Prior to Final Approval by the Development Review Officer (DRO), the property owner shall provide a Rural Parkway Landscape Plan, which shall recreate the native habitat appropriate for the site, subject to review and approval by the Landscape Section and the Planning Division and at a minimum shall include the following:
 - a. an overall fifty (50) foot wide Rural Parkway which may include the twenty (20) foot right-of-way buffer;
 - b. An eight (8) foot wide paved multipurpose meandering pathway;
 - c. The minimum quantities of trees and shrubs within the twenty (20) foot right-of-way portion shall be consistent with Article 7 and quantities for the remaining thirty (30) foot rural Parkway shall be determined based on site restrictions and existing native vegetation. These overall quantities may be adjusted prior to final approval of the landscape plan to achieve a native habitat;
 - d. A minimum of eighty percent 80% native vegetation. Credit may be given for native vegetation that is relocated or is part of an approved mitigation plan; and flowering trees and/or shrubs. (DRO: PLANNING - Planning)
2. Prior to Final Approval by the Development Review Officer (DRO), the Property Owner shall submit a Rural Parkway Management Plan (RPMP) maintenance agreement for perpetual maintenance of the Rural Parkway subject to approval by Planning. (DRO: PLANNING - Planning)
3. Prior to Final Approval by the Development Review Officer (DRO), the Property Owner shall submit a recorded Rural Parkway Easement with prior approval from the County Attorney and Planning. The Easement shall include, but is not limited to: an approved Rural Parkway Landscape Plan, an approved Rural Parkway Management Plan, and Title Insurance. (DRO: PLANNING - Planning)
4. The Rural Parkway Easement shall include, but not be limited to, the following items:
 - a. The Rural Parkway easement shall not include:
 - i. Walls, with the exception of retaining walls or seating walls which are used to enhance the parkway easement or lessen the impact of the development on this area;
 - ii. Habitable structures, provided however, structures such as, but not limited to, a bus shelter, benches, pedestrian gathering area, fitness trail elements, trellis structures for shade, or pedestrian water fountains, or as otherwise approved by the Palm Beach County Planning Division; and
 - iii. Such other uses as are prohibited within the Rural Parkway pursuant to the Comprehensive Plan or the ULDC.
 - b. The Rural Parkway easement may include the following activities and uses:
 - i.. Landscaping, landscape mitigation and buffer requirements consisting of plant and shrub/groundcover material as approved by the Palm Beach County Zoning, Planning and/or Environmental Resource Management Division;
 - ii. Pedestrian and equestrian pathways;
 - iii. Undulating berms, no taller than five feet;
 - iv. Benches/pedestrian gathering areas/fitness stations/or other similar hardscape features such as trellis or shade structures found in similar parkway areas;
 - v. Required utility and embankment easement(s) located adjacent to the Northlake Boulevard right-of-way, or traversing through the parkway easement into the site;
 - vi. Bus shelter easement(s);
 - vii. Drainage/utility easements which primarily transverse (run perpendicular to) the Property to place drainage/utilities in the developable portion of the adjoining development area;
 - viii. Maintenance and upkeep of the Property area;
 - ix. Irrigation piping, pumps, electrical systems, lighting elements, and lighting fixtures necessary to irrigate and illuminate the Property area, the developable portion of the adjoining development area and landscape materials planted therein;
 - xii. Vehicular and pedestrian interconnects traversing the Property area to provide ingress and egress to the developed portion of the MUPD; and
 - xiii. Such other uses as are permitted within the Northlake Boulevard Rural Parkway pursuant to the Comprehensive Plan or the ULDC. (ONGOING: PLANNING - Planning)
5. The Property Owner shall commence construction of the Rural Parkway, consistent with the approved Landscape Plan and in accordance with the Rural Parkway Management Plan, within 30 calendar days of issuance of the first Building Permit. (BLDGPM: MONITORING - Planning)
6. Prior to the release of the first Certificate of Occupancy (CO), the Rural Parkway shall be completed and in compliance with the Rural Parkway Landscape Plan and Management Plan, subject to a final inspection by a Landscape inspector and designated Planning Staff. (CO: PLANNING - Monitoring)
7. Signs of any type shall not be permitted to be located within the Rural Parkway. (ONGOING: PLANNING - Planning)
8. Per LGA 2024-002, development of the site under the CL future land use designation is limited to a maximum of 1,426 daily trips. (ONGOING: PLANNING – Planning)

USE LIMITATIONS

1. Hours of operation for delivery vehicles shall be limited from 6:00 a.m. to 9:00 p.m. daily. (ONGOING: ZONING - Zoning)
2. Hours of business operation shall be limited to the requirements of the Unified Land Development Code which is from 6:00 a.m. to 11:00 p.m. daily. (ONGOING: ZONING - Zoning)
3. The storage of rental trucks/trailers or outside vendors shall not be permitted on the property. (ONGOING: ZONING - Zoning)
4. Hours of construction activity during all stages of site development shall be limited to 7:00 a.m. to 6:00 p.m. Monday through Friday. Construction shall be prohibited on Saturday, Sunday, and statutory holidays. (ONGOING: ZONING - Zoning)

COMPLIANCE

1. In Granting this Approval, the Board of County Commissioners relied upon the oral and written representations of the Property Owner/Applicant both on the record and as part of the application process. Deviations from or violation of these representations shall cause the Approval to be presented to the Board of County Commissioners for review under the Compliance Condition of this Approval. (ONGOING: MONITORING - Zoning)
2. Failure to comply with any of the Conditions of Approval for the subject property at any time may result in:
 - a. The Issuance of a Stop Work Order; the Issuance of a Cease and Desist Order; the Denial or Revocation of a Building Permit; the Denial or Revocation of a Certificate of Occupancy; the Denial of any other Permit, License or Approval to any developer, owner, lessee, or user of the subject property; the Revocation of any other permit, license or approval from any developer, owner, lessee, or user of the subject property; the Revocation of any concurrency; and/or
 - b. The Revocation of the Official Map Amendment, Conditional Use, Requested Use, Development Order Amendment, and/or any other zoning approval; and/or
 - c. A requirement of the development to conform with the standards of the Unified Land Development Code at the time of the finding of non-compliance, or the addition or modification of conditions reasonably related to the failure to comply with existing Conditions of Approval; and/or
 - d. Referral to Code Enforcement; and/or
 - e. Imposition of entitlement density or intensity.

Staff may be directed by the Executive Director of PZ&B or the Code Enforcement Special Master to schedule a Status Report before the body which approved the Official Zoning Map Amendment, Conditional Use, Requested Use, Development Order Amendment, and/or other zoning approval, in accordance with the provisions of Section 2.E of the ULDC, in response to any flagrant violation and/or continued violation of any Condition of Approval. (ONGOING: MONITORING - Zoning)

DISCLOSURE

1. All applicable state or federal permits shall be obtained before commencement of the development authorized by this Development Permit.

Exhibit C-2 Conditions of Approval

Class A Conditional Use – Retail Gas and Fuel with a Convenience Store

ALL PETITIONS

1. The approved Site Plan is dated May 19, 2025. Modifications to the Development Order inconsistent with the Conditions of Approval, or changes to the uses or site design beyond the authority of the Development Review Officer as established in the Unified Land Development Code, must be approved by the Board of County Commissioners. (ONGOING: ZONING - Zoning)

USE LIMITATIONS

1. Hours of business operation shall be limited to the requirements of the Unified Land Development Code which is from 6:00 a.m. to 11:00 p.m. daily. (ONGOING: ZONING - Zoning)

2. The maximum number of fueling positions shall be limited to ten. (BLDGPMT/DRO: ZONING – Zoning)

3. The setback of the Gas and Fuel Canopy shall be a minimum 94 feet from the south property line. (BLDGPMT/DRO: ZONING – Zoning)

COMPLIANCE

1. In Granting this Approval, the Board of County Commissioners relied upon the oral and written representations of the Property Owner/Applicant both on the record and as part of the application process. Deviations from or violation of these representations shall cause the Approval to be presented to the Board of County Commissioners for review under the Compliance Condition of this Approval. (ONGOING: MONITORING - Zoning)

2. Failure to comply with any of the Conditions of Approval for the subject property at any time may result in:

- a. The Issuance of a Stop Work Order; the Issuance of a Cease and Desist Order; the Denial or Revocation of a Building Permit; the Denial or Revocation of a Certificate of Occupancy; the Denial of any other Permit, License or Approval to any developer, owner, lessee, or user of the subject property; the Revocation of any other permit, license or approval from any developer, owner, lessee, or user of the subject property; the Revocation of any concurrency; and/or
- b. The Revocation of the Official Map Amendment, Conditional Use, Requested Use, Development Order Amendment, and/or any other zoning approval; and/or
- c. A requirement of the development to conform with the standards of the Unified Land Development Code at the time of the finding of non-compliance, or the addition or modification of conditions reasonably related to the failure to comply with existing Conditions of Approval; and/or
- d. Referral to Code Enforcement; and/or
- e. Imposition of entitlement density or intensity.

Staff may be directed by the Executive Director of PZ&B or the Code Enforcement Special Master to schedule a Status Report before the body which approved the Official Zoning Map Amendment, Conditional Use, Requested Use, Development Order Amendment, and/or other zoning approval, in accordance with the provisions of Section 2.E of the ULDC, in response to any flagrant violation and/or continued violation of any Condition of Approval. (ONGOING: MONITORING - Zoning)

DISCLOSURE

1. All applicable state or federal permits shall be obtained before commencement of the development authorized by this Development Permit.

Exhibit D - Project History

The site is currently vacant and does not have any prior approvals by the Board of County Commissioners (BCC)

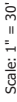
Exhibit E-1 - Preliminary Site Plan



Landscape Architects
Land Planners
Environmental Consultants
1934 Commerce Lane
Suite 1
Jupiter, Florida 33458
561.747.6336 • Fax 747.1377
www.cottlehearing.com
Lic# LC-26000535

West End Crossing MUPD

Preliminary Site Plan Palm Beach County, Florida



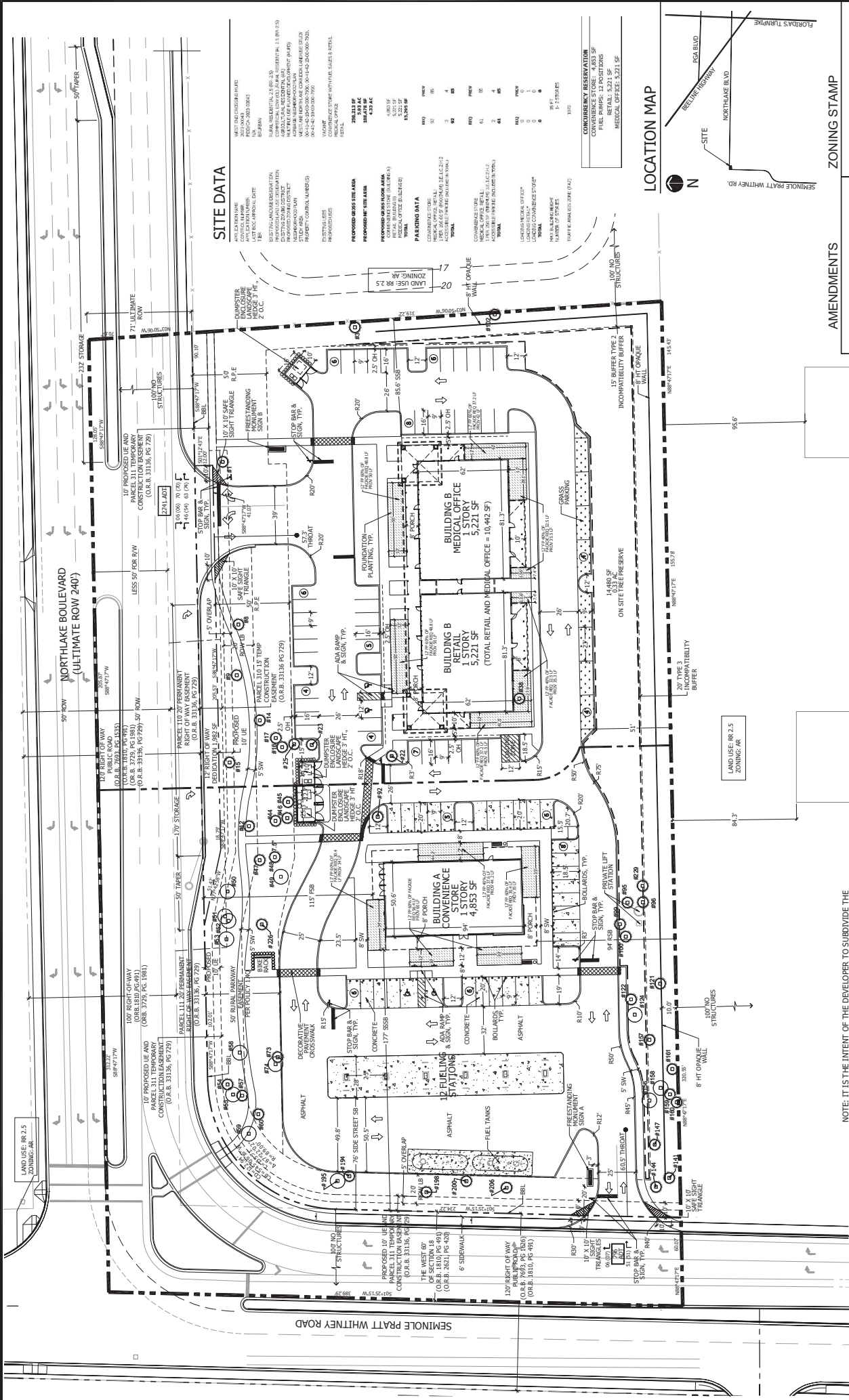
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15	45%	15%	25%	15%
30	35%	25%	25%	15%
60	25%	45%	20%	10%



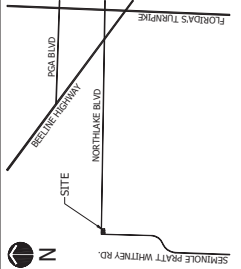
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DRAWN	RNK, RO
APPROVED	DEH
JOB NUMBER	21-0125
DATE	01-22-24
REVISIONS	02-26-24
12-20-24	03-07-24
01-27-25	04-19-24
04-28-25	05-22-24
	10-28-24
	06-24-24

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Drawing: 21-0125 SP.DWG

SHEET 1 OF 1

















LOCATION MAP



ZONING STAMP

AMENDMENTS

LEGEND

BBL	BASE BUILDING LINE		ADA SIGN
ADA	AMERICANS WITH DISABILITIES ACT		STOP SIGN
AS	ASPHALT		NO TURN ON RED
R	RADIUS		PUSHMAN CROSSING
SB	SETBACK		
SW	SIDEWALK		PARKING LIGHT
TP	TYPICAL		FEDESTRIAN LIGHT
UL	ULTIMATE RIGHT OF WAY		
UL	ULTIMATE RIGHT OF WAY		PIL COACH LIGHT
FW	FOUNDATION PLANTING		BOLLARDS
RP	UTILITY EASEMENT		
UE	OVERHUNG		
WT	WALKWAY		
CO	CORNER		

PROPERTY DEVELOPMENT REGULATIONS

TABLE 3.3.3 - MAJOR PROPERTY DEVELOPMENT REGULATIONS											
ZONING DISTRICT OR POD	REQUIRED MUPD (CL) COMMERCIAL LOW MUPD (CL) COMMERCIAL LOW	MINIMUM LOT DIMENSIONS				FAR	BULK COVER	SETBACKS/SEPARATION			
		SIZE	WIDTH	FRONTAGE	DEPTH			FRONT	SIDE	SIDE STREET	REAR
PROPOSED		3 AC	200'	200'	200'	0.10	25%	25'	C-15' R-30'	20'	C-20' R-30'
PROPOSED		5.97 AC	666.14'	666.14'	380.25'	0.06	6%	110'	R-165'	17'	R-64'

FOUNDATION PLANTING CHART

	LOCATION	LENGTH	REQUIRED	PROVIDED:
FOUNDATION PLANTING REQUIREMENT	Planting 4 Small (West) 60%	40'	54.4'	60'
	Planting 4 Small (East) 60%	50.6'	30.4'	34'
	Planting 4 Small (South) 60%	50.6'	30.4'	35'
	Planting 4 Small (North) 60%	50.6'	30.4'	35'
	Planting 4 Small (West) 60%	162.8'	17.0'	110.0'
	Planting 4 Small (East) 60%	162.8'	17.0'	110.0'
FOUNDATION PLANTING REQUIREMENT	Planting 4 Small (West) 60%	62'	37.2'	44'
	Planting 4 Small (East) 60%	162.8'	16.5'	72.4'

NOTE: IT IS THE INTENT OF THE DEVELOPER TO SUBDIVIDE THE PROPERTY UTILIZING PLATTING EXEMPTION ARTICLE 11.A.6.B

Exhibit E-2 - Preliminary Regulating Plan



West End Crossing MUPD



Scale: 1" = 30'



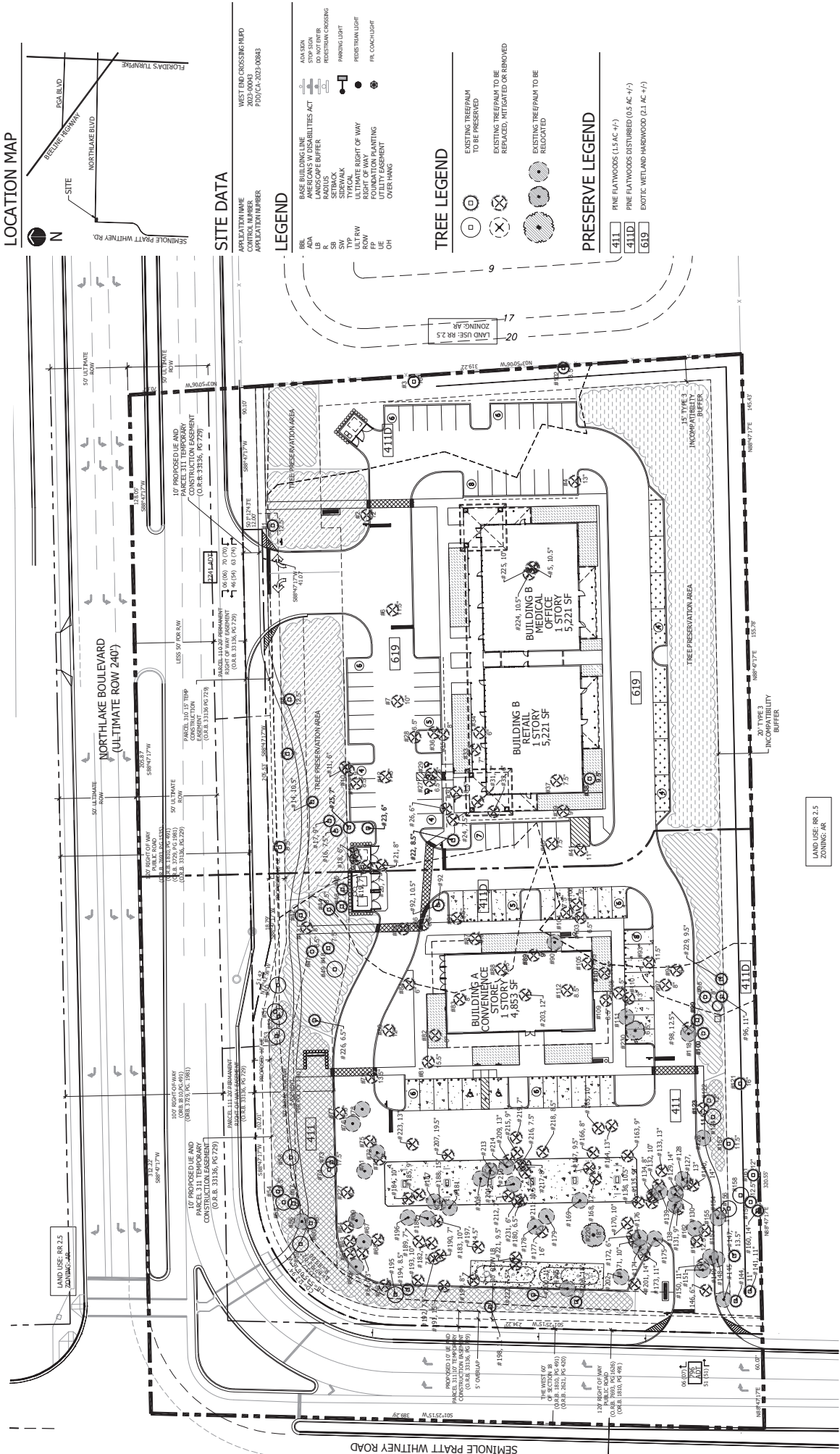
DESIGNED	DEH
DRAWN	RNK
APPROVED	DEH
JOB NUMBER	21-0125
DATE	10-17-23
REVISIONS	11-16-23
01-27-25	08-26-24 12-27-23
04-28-25	10-28-24 01-22-24
	11-22-24 02-26-24
	12-20-24 07-22-24

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PR

SHEET 1 OF 2

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LEGEND

UPLAND PRESERVE OPPORTUNITY	DISTURBED UPLAND TO BE ENHANCED	DISTURBED WETLAND AREA TO BE REFORESTED WITH NATIVE UPLAND AND TRANSITIONAL PLANTING (ON SITE TREE MITIGATION AREA)	WETLAND AREA WITH MIXED PINE AND CYPRESS
10.416 SF 0.24 AC	9.339 SF 0.21 AC	11.075 SF 0.25 AC	10.268 SF 0.24 AC

.58 AC TREE PRESERVATION AREA NORTH

33 AC TREE PRESERVATION AREA SOUTH

AMENDMENTS

ZONING STAMP

SHEET 1 OF 2



West End Crossing MUPD



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SITE DATA

APPLICATION NAME	WEST END CROSSING MUPO
CONTROL NUMBER	2023-00043
APPLICATION NUMBER	PDD/CA-2023-00843

NO.	SPECIES		SIZE	ERM	ZONING	PROPOSED DISPOSITION	ERM MITIGATION	ZONING REPLACEMENT	CREDIT	NOTES
TABLE 14-C-7.6-1 CALCULATED PER TABLE 7.6-1.6: VEGETATION LOSS AND REPLACEMENT										
173	<i>Pinus elliptica</i>	Slash Pine	11"	Yes	NA	Mitigate	3			
174	<i>Pinus strobus</i>	Slash Pine	11"	Yes	NA	Mitigate	3			
175	<i>Sorbus palmato</i>	Cabbage Palm	8 ft	Yes	NA	Relocate	N/A			
176	<i>Pinus elliptica</i>	Slash Pine	6"	Yes	NA	Mitigate	2			
177	<i>Pinus elliptica</i>	Slash Pine	10"	Yes	NA	Mitigate	5			
178	<i>Sorbus palmato</i>	Cabbage Palm	14 ft	Yes	NA	Relocate	N/A			
179	<i>Sorbus palmato</i>	Cabbage Palm	12 ft	Yes	NA	Relocate	N/A			
180	<i>Pinus strobus</i>	Slash Pine	11"	Yes	NA	Mitigate	3			
181	<i>Sorbus palmato</i>	Cabbage Palm	15 ft	Yes	NA	Relocate	N/A			
182	<i>Pinus elliptica</i>	Slash Pine	8"	Yes	NA	Mitigate	2			
183	<i>Pinus elliptica</i>	Slash Pine	10"	Yes	NA	Mitigate	3			
184	<i>Pinus elliptica</i>	Slash Pine	10"	Yes	NA	Mitigate	3			
185	<i>Pinus elliptica</i>	Slash Pine	9"	Yes	NA	Mitigate	3			
186	<i>Sorbus palmato</i>	Cabbage Palm	8 ft	Yes	NA	Relocate	N/A			
187	<i>Sorbus palmato</i>	Cabbage Palm	8 ft	Yes	NA	Relocate	N/A			
188	<i>Pinus elliptica</i>	Slash Pine	15"	Yes	NA	Mitigate	5			
189	<i>Pinus elliptica</i>	Slash Pine	7"	Yes	NA	Mitigate	2			
190	<i>Pinus elliptica</i>	Slash Pine	7"	Yes	NA	Mitigate	2			
191	<i>Pinus elliptica</i>	Slash Pine	15"	Yes	NA	Mitigate	5			
192	<i>Pinus elliptica</i>	Slash Pine	10"	Yes	NA	Mitigate	2			
193	<i>Pinus elliptica</i>	Slash Pine	8"	Yes	NA	Mitigate	2			
194	<i>Pinus elliptica</i>	Slash Pine	9"	Yes	NA	Preserve	N/A			
195	<i>Sorbus palmato</i>	Cabbage Palm	14 ft	Yes	NA	Preserve	N/A			
196	<i>Sorbus palmato</i>	Cabbage Palm	11 ft	Yes	NA	Relocate	N/A			
197	<i>Pinus elliptica</i>	Slash Pine	15"	Yes	NA	Mitigate	5			
198	<i>Pinus elliptica</i>	Slash Pine	11"	Yes	NA	Mitigate	3			
199	<i>Pinus elliptica</i>	Slash Pine	8"	Yes	NA	Preserve	N/A			
200	<i>Pinus elliptica</i>	Slash Pine	11"	Yes	NA	Preserve	N/A			
201	<i>Pinus elliptica</i>	Slash Pine	14"	Yes	NA	Mitigate	4			
202	<i>Sorbus palmato</i>	Cabbage Palm	15 ft	Yes	NA	Relocate	N/A			
203	<i>Pinus elliptica</i>	Slash Pine	12"	Yes	NA	Mitigate	4			
204	<i>Sorbus palmato</i>	Cabbage Palm	12 ft	Yes	NA	Relocate	N/A			
205	<i>Sorbus palmato</i>	Cabbage Palm	12 ft	Yes	NA	Relocate	N/A			
206	<i>Pinus elliptica</i>	Slash Pine	12"	Yes	NA	Preserve	N/A			
207	<i>Pinus elliptica</i>	Slash Pine	13 ft	Yes	NA	Mitigate	6			
208	<i>Sorbus palmato</i>	Cabbage Palm	10 ft	Yes	NA	Relocate	N/A			
209	<i>Pinus elliptica</i>	Slash Pine	13"	Yes	NA	Mitigate	4			
210	<i>Sorbus palmato</i>	Cabbage Palm	12 ft	Yes	NA	Relocate	N/A			
211	<i>Pinus elliptica</i>	Slash Pine	11"	Yes	NA	Mitigate	3			
212	<i>Pinus elliptica</i>	Slash Pine	7"	Yes	NA	Mitigate	2			
213	<i>Pinus elliptica</i>	Slash Pine	9"	Yes	NA	Mitigate	3			
214	<i>Sorbus palmato</i>	Cabbage Palm	12 ft	Yes	NA	Relocate	N/A			
215	<i>Pinus elliptica</i>	Slash Pine	9"	Yes	NA	Mitigate	3			
216	<i>Pinus elliptica</i>	Slash Pine	8"	Yes	NA	Mitigate	2			
217	<i>Pinus elliptica</i>	Slash Pine	10"	Yes	NA	Mitigate	3			
218	<i>Pinus elliptica</i>	Slash Pine	9"	Yes	NA	Mitigate	3			
219	<i>Pinus elliptica</i>	Slash Pine	7"	Yes	NA	Mitigate	2			
220	<i>Ficus aurea</i>	Strangler Fig	18"	Yes	NA	Relocate	N/A			
221	<i>Pinus elliptica</i>	Slash Pine	10"	Yes	NA	Mitigate	3			
222	<i>Pinus elliptica</i>	Slash Pine	8"	Yes	NA	Mitigate	2			
223	<i>Pinus elliptica</i>	Slash Pine	11"	Yes	NA	Mitigate	3			
224	<i>Pinus elliptica</i>	Slash Pine	11"	Yes	NA	Mitigate	3			
225	<i>Pinus elliptica</i>	Slash Pine	10"	Yes	NA	Mitigate	3			
226	<i>Pinus elliptica</i>	Slash Pine	9"	Yes	NA	Preserve	N/A			
227	<i>Pinus elliptica</i>	Slash Pine	7"	Yes	NA	Mitigate	3			
228	<i>Pinus elliptica</i>	Slash Pine	12"	Yes	NA	Mitigate	4			
229	<i>Pinus elliptica</i>	Slash Pine	10"	Yes	NA	Mitigate	3			
230	<i>Pinus barbatula</i>	Redbay	7"	Yes	NA	Relocate	N/A			
231	<i>Pinus elliptica</i>	Slash Pine	6"	Yes	NA	Mitigate	2			
SP +	Palms mitigation shall be one for one and equivalent trunk height and subject to Art. 14-C-7.3.b.7) and Art. 14-C-7.4.e.									
TOTALS	220	ERM Mitigation	374					0		

NO.	SPECIES	SIZE	ERM	ZONING	PROPOSED DISPOSITION	ERM MIT	ZONING	CREDIT	NOTES
84	<i>Pinus edulis</i>	Slash Pine	6"	Yes	Mitigate	2			
85	<i>Pinus edulis</i>	Slash Pine	12"	Yes	Mitigate	2			
86	<i>Pinus edulis</i>	Slash Pine	7"	Yes	NA	Mitigate	2		
87	<i>Pinus edulis</i>	Slash Pine	10"	Yes	NA	Mitigate	3		
88	<i>Pinus edulis</i>	Slash Pine	13"	Yes	NA	Mitigate	4		
89	<i>Pinus edulis</i>	Slash Pine	9"	Yes	NA	Mitigate	3		
90	<i>Pinus edulis</i>	Cabbage Palm	11-H	Yes	Preserve	N/A			
91	<i>Pinus edulis</i>	Slash Pine	11"	Yes	Preserve	N/A			
92	<i>Pinus edulis</i>	Slash Pine	11"	Yes	NA	Preserve	N/A		
93	<i>Pinus edulis</i>	Slash Pine	12"	Yes	NA	Mitigate	4		
94	<i>Pinus edulis</i>	Slash Pine	6"	Yes	NA	Mitigate	2		
95	<i>Pinus edulis</i>	Slash Pine	8"	Yes	NA	Preserve	N/A		
96	<i>Pinus edulis</i>	Slash Pine	12"	Yes	NA	Preserve	N/A		
97	<i>Pinus edulis</i>	Slash Pine	12"	Yes	NA	Mitigate	2		
98	<i>Pinus edulis</i>	Slash Pine	13"	Yes	NA	Mitigate	4		
99	<i>Scaevola palmerstonensis</i>	Cabbage Palm	8-H	Yes	Preserve	N/A			
100	<i>Scaevola palmerstonensis</i>	Cabbage Palm	15-H	Yes	NA	Preserve	N/A		
101	<i>Pinus edulis</i>	Slash Pine	14"	Yes	NA	Preserve	N/A		
102	<i>Pinus edulis</i>	Slash Pine	14"	Yes	NA	Preserve	N/A		
103	<i>Pinus edulis</i>	Slash Pine	6"	Yes	NA	Mitigate	2		
104	<i>Pinus edulis</i>	Slash Pine	8"	Yes	NA	Mitigate	2		
105	<i>Pinus edulis</i>	Slash Pine	14"	Yes	NA	Mitigate	4		
106	<i>Pinus edulis</i>	Slash Pine	12"	Yes	NA	Mitigate	2		
107	<i>Pinus edulis</i>	Slash Pine	12"	Yes	NA	Mitigate	4		
108	<i>Pinus edulis</i>	Slash Pine	9"	Yes	NA	Mitigate	3		
109	<i>Pinus edulis</i>	Slash Pine	12"	Yes	NA	Mitigate	4		
110	<i>Pinus edulis</i>	Slash Pine	13"	Yes	NA	Mitigate	4		
111	<i>Scaevola palmerstonensis</i>	Cabbage Palm	19-H	Yes	NA	Relocate	N/A		
112	<i>Pinus edulis</i>	Slash Pine	9"	Yes	NA	Mitigate	3		
113	<i>Scaevola palmerstonensis</i>	Cabbage Palm	8-H	Yes	NA	Relocate	N/A		
114	<i>Pinus edulis</i>	Slash Pine	12"	Yes	NA	Preserve	N/A		
115	<i>Pinus edulis</i>	Slash Pine	12"	Yes	NA	Preserve	N/A		
123	<i>Pinus edulis</i>	Slash Pine	12"	Yes	NA	Mitigate	4		
124	<i>Scaevola palmerstonensis</i>	Cabbage Palm	12-H	Yes	NA	Preserve	N/A		
125	<i>Pinus edulis</i>	Slash Pine	13"	Yes	NA	Mitigate	4		
126	<i>Scaevola palmerstonensis</i>	Cabbage Palm	8-H	Yes	NA	Preserve	N/A		
127	<i>Scaevola palmerstonensis</i>	Cabbage Palm	12-H	Yes	NA	Relocate	N/A		
128	<i>Scaevola palmerstonensis</i>	Cabbage Palm	11-H	Yes	NA	Relocate	N/A		
129	<i>Pinus edulis</i>	Slash Pine	14"	Yes	NA	Mitigate	4		
130	<i>Scaevola palmerstonensis</i>	Cabbage Palm	12-H	Yes	NA	Relocate	N/A		
131	<i>Pinus edulis</i>	Slash Pine	9"	Yes	NA	Mitigate	3		
132	<i>Pinus edulis</i>	Slash Pine	12"	Yes	NA	Mitigate	3		
133	<i>Pinus edulis</i>	Slash Pine	12"	Yes	NA	Mitigate	4		
134	<i>Pinus edulis</i>	Slash Pine	8"	Yes	NA	Mitigate	2		
135	<i>Pinus edulis</i>	Slash Pine	9"	Yes	NA	Mitigate	3		
136	<i>Pinus edulis</i>	Slash Pine	11"	Yes	NA	Mitigate	3		
138	<i>Scaevola palmerstonensis</i>	Cabbage Palm	13-H	Yes	NA	Relocate	N/A		
139	<i>Scaevola palmerstonensis</i>	Cabbage Palm	13-H	Yes	NA	Relocate	N/A		
140	<i>Scaevola palmerstonensis</i>	Cabbage Palm	11-H	Yes	NA	Relocate	N/A		
141	<i>Pinus edulis</i>	Slash Pine	11"	Yes	NA	Preserve	N/A		
144	<i>Pinus edulis</i>	Slash Pine	11"	Yes	NA	Preserve	N/A		
145	<i>Scaevola palmerstonensis</i>	Cabbage Palm	15-H	Yes	NA	Relocate	N/A		
146	<i>Pinus edulis</i>	Slash Pine	6"	Yes	NA	Mitigate	2		
147	<i>Scaevola palmerstonensis</i>	Cabbage Palm	13-H	Yes	NA	Relocate	N/A		
148	<i>Scaevola palmerstonensis</i>	Cabbage Palm	16-H	Yes	NA	Relocate	N/A		
149	<i>Scaevola palmerstonensis</i>	Cabbage Palm	12-H	Yes	NA	Relocate	N/A		
150	<i>Pinus edulis</i>	Slash Pine	11"	Yes	NA	Mitigate	3		
151	<i>Scaevola palmerstonensis</i>	Cabbage Palm	15-H	Yes	NA	Relocate	N/A		
152	<i>Pinus edulis</i>	Slash Pine	12"	Yes	NA	Mitigate	4		
153	<i>Pinus edulis</i>	Slash Pine	10"	Yes	NA	Mitigate	3		
154	<i>Pinus edulis</i>	Slash Pine	10"	Yes	NA	Mitigate	3		
155	<i>Pinus edulis</i>	Slash Pine	11"	Yes	NA	Mitigate	3		
156	<i>Scaevola palmerstonensis</i>	Cabbage Palm	14-H	Yes	NA	Relocate	N/A		
157	<i>Pinus edulis</i>	Slash Pine	12"	Yes	NA	Preserve	N/A		
158	<i>Scaevola palmerstonensis</i>	Cabbage Palm	13-H	Yes	NA	Preserve	N/A		
159	<i>Scaevola palmerstonensis</i>	Cabbage Palm	13-H	Yes	NA	Preserve	N/A		
160	<i>Pinus edulis</i>	Slash Pine	14"	Yes	NA	Preserve	N/A		
161	<i>Pinus edulis</i>	Slash Pine	12"	Yes	NA	Preserve	N/A		
162	<i>Scaevola palmerstonensis</i>	Cabbage Palm	10-H	Yes	NA	Relocate	N/A		
163	<i>Pinus edulis</i>	Slash Pine	9"	Yes	NA	Mitigate	3		
164	<i>Pinus edulis</i>	Slash Pine	10"	Yes	NA	Mitigate	3		
165	<i>Pinus edulis</i>	Slash Pine	10"	Yes	NA	Mitigate	3		
166	<i>Pinus edulis</i>	Slash Pine	8"	Yes	NA	Mitigate	2		
167	<i>Pinus edulis</i>	Slash Pine	10"	Yes	NA	Mitigate	3		
168	<i>Scaevola palmerstonensis</i>	Cabbage Palm	15-H	Yes	NA	Relocate	N/A		
169	<i>Pinus edulis</i>	Slash Pine	12"	Yes	NA	Mitigate	4		
170	<i>Pinus edulis</i>	Slash Pine	10"	Yes	NA	Mitigate	3		
171	<i>Pinus edulis</i>	Slash Pine	12"	Yes	NA	Mitigate	3		
172	<i>Pinus edulis</i>	Slash Pine	6"	Yes	NA	Mitigate	2		

NO.	SPECIES	SIZE	ERM	ZONING	PROPOSED DISPOSITION	ERM AMT	ZONING REFINEMENT	CREDIT	NOTES
TABLE 7.3.2 - CALCULATED PER TABLE 7.3.1C									
VEGETATION ADJUSTMENT									
1	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Preserve	N/A			
2	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	N/A			
3	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	N/A			
4	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	3			
5	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	4			
6	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	3			
7	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Preserve	N/A			
8	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	3			
9	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	3			
10	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	4			
11	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	2			
12	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	3			
13	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Preserve	N/A			
14	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Preserve	N/A			
15	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Preserve	N/A			
16	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Preserve	N/A			
17	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Preserve	N/A			
18	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	2			
19	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	2			
20	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	7			
21	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	7			
22	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Preserve	N/A			
23	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Preserve	N/A			
24	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	2			
25	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Preserve	N/A			
26	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	2			
27	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	2			
28	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	2			
29	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	2			
30	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	3			
31	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	2			
32	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	2			
33	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	2			
34	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	2			
35	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	2			
36	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	2			
37	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	2			
38	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Preserve	N/A			
39	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	3			
40	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	2			
41	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	3			
42	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	2			
43	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	2			
44	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	2			
45	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Preserve	N/A			
46	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Preserve	N/A			
47	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Preserve	N/A			
48	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Preserve	N/A			
49	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Preserve	N/A			
50	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Preserve	N/A			
51	<i>Solida pauciflora</i>	Cabbage Palm	Yes	NA	Preserve	N/A			
52	<i>Solida pauciflora</i>	Cabbage Palm	Yes	NA	Preserve	N/A			
53	<i>Solida pauciflora</i>	Cabbage Palm	Yes	NA	Preserve	N/A			
54	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Preserve	N/A			
55	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Preserve	N/A			
56	<i>Solida pauciflora</i>	Cabbage Palm	Yes	NA	Belicant	N/A			
57	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Preserve	N/A			
58	<i>Solida pauciflora</i>	Cabbage Palm	Yes	NA	Preserve	N/A			
59	<i>Solida pauciflora</i>	Cabbage Palm	Yes	NA	Preserve	N/A			
60	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Preserve	N/A			
61	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Preserve	N/A			
62	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	3			
63	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	3			
64	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	4			
65	<i>Solida pauciflora</i>	Cabbage Palm	Yes	NA	Belicant	N/A			
66	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	3			
67	<i>Solida pauciflora</i>	Cabbage Palm	Yes	NA	Belicant	N/A			
68	<i>Solida pauciflora</i>	Cabbage Palm	Yes	NA	Belicant	N/A			
69	<i>Solida pauciflora</i>	Cabbage Palm	Yes	NA	Belicant	N/A			
70	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	4			
71	<i>Solida pauciflora</i>	Cabbage Palm	Yes	NA	Belicant	N/A			
72	<i>Solida pauciflora</i>	Cabbage Palm	Yes	NA	Belicant	N/A			
73	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Preserve	N/A			
74	<i>Solida pauciflora</i>	Cabbage Palm	Yes	NA	Preserve	N/A			
75	<i>Solida pauciflora</i>	Cabbage Palm	Yes	NA	Belicant	N/A			
76	<i>Solida pauciflora</i>	Cabbage Palm	Yes	NA	Belicant	N/A			
77	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	5			
78	<i>Solida pauciflora</i>	Cabbage Palm	Yes	NA	Belicant	N/A			
79	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	4			
80	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	4			
81	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	5			
82	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	5			
83	<i>Pinus elliptici</i>	Slash Pine	Yes	NA	Mitigate	2			

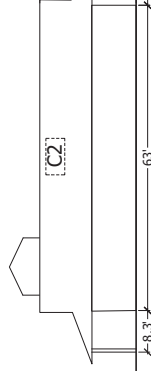
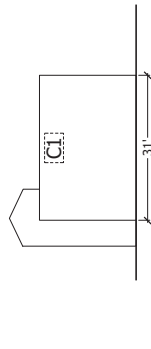
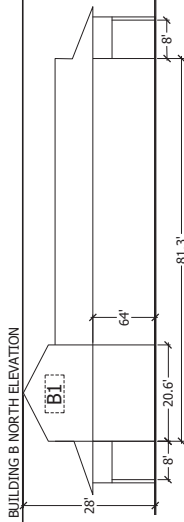
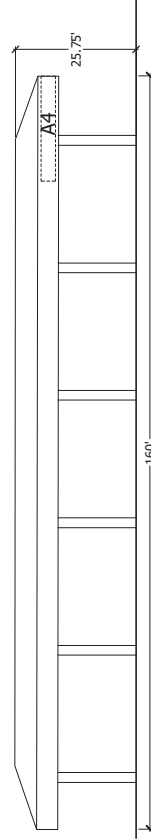
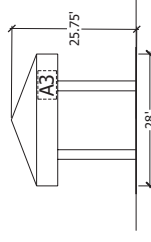
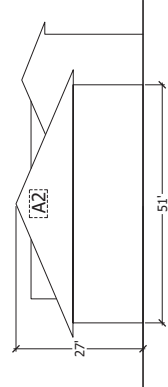
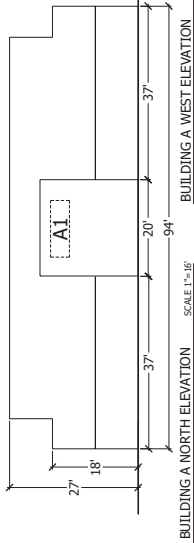
Exhibit E-3 - Preliminary Master Sign Plan

BUILDING A WEST ELEVATION

SCALE NTS

BUILDING A NORTH ELEVATION

SCALE NTS



BILIT DING C NORTH EVALUATION

SCALE NTC

BUILDING C WEST EVALUATION

SALE NTG

GROUND MOUNTED FREESTANDING SIGN DATA

SCALE NTS

Street Name/Length of Frontage	Max. No. per Project Frontage		Max. Sign Area (0.5 sq. ft. per lineal ft. of frontage) and Max. Board Signage		Max. Sign Height		Min. Spacing	
	Allowed	Proposed	Allowed	Proposed	Proposed	Allowed	Proposed	Allowed
GERMANE PATT WATKINS ROAD (380' 20" LF)	1	1	1005F	1005F	12'11"	15'11"	20'11"	-
GERMANE PATT WATKINS ROAD (380' 20" LF)	1	1	1005F	1005F	12'11"	15'11"	20'11"	-
GERMANE PATT WATKINS ROAD (380' 20" LF)	1	1	1005F	1005F	12'11"	15'11"	20'11"	-

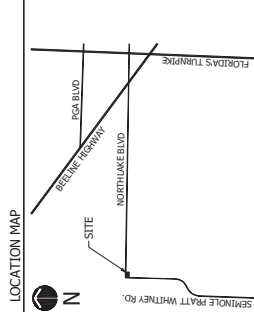
WALL SIGN DATA

EQUIPMENT		ULDC Requirements per Table & I.C.A. - Wall Sign Standards	Sign ID	Length of Wall in Linear Feet	Proposed Sign Dimensions, Separation between signs			
					Front	Side (east)	Rear (south)	Side (east)
			WC-1	81.3	40.6 5'6"	47.5'6"		
			WC-2	31.3	24.5'6"	24.5'6"		
			WC-3	50.6'	24.5'6"	24.5'6"		
			WC-4	20'	24.5'6"	24.5'6"		
			WC-5	130'	67.5'	67.5'		
			WC-2	60'	N/A	33.5'		N/A
				24 square feet	N/A	N/A		N/A
				3 ft.	3' min. 3"	3' min. 3"		3' min. 3"
				24 in.	Max. 24"	Max. 24"		Max. 24"
				6 in.	Min. 6"	Min. 6"		Min. 6"
				6 in.	Min. 6"	Min. 6"		Min. 6"
					Min. 6"	Min. 6"		Min. 6"

* Pursuant to Table 8 G 1 A - Wall Sign Standards the Minimum sign area per tenant space is 24 SF

AMENDMENTS

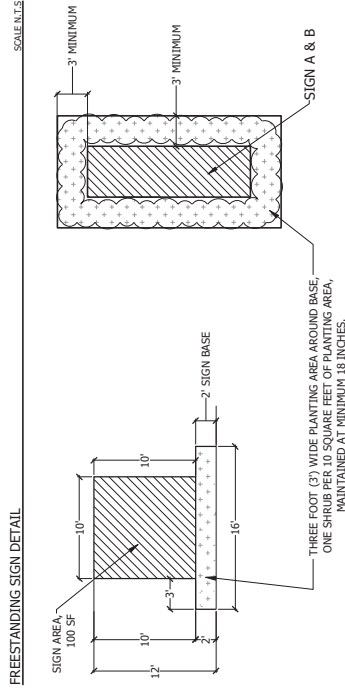
ZONING STAMP



SITE DATA

APPLICATION NAME	WEST END CROSSING MUPO
CONTROL NUMBER	2023-00043
APPLICATION NUMBER	P/D/CA-2023-00843

FREESTANDING SIGN DETAIL



West End Crossing MUPD

Preliminary Master Sign Plan Palm Beach County, Florida

Preliminary Master Sign Plan Palm Beach County, Florida



**Cotleur &
Hearing**
Landscape Architects
Land Planners
Environmental Consultants
1934 Commerce Lane
Suite 1
Jupiter, Florida 33458
561.747.6336 • Fax 747.1377
www.cotleurhearing.com
Lic# L.C.260000535



DESIGNED	DEH
DRAWN	RNK, RO
APPROVED	DEH
JOB NUMBER	21-0125
DATE	01-22-24
REVISIONS	02-28-24
12-20-24	07-22-24
01-27-25	03-07-24
04-28-25	08-26-24
	10-28-24
	05-22-24
	11-22-24
	06-24-24

April 24, 2025 7:51:33 a.m.
 Document: 24-0125-50000

Drawing: 21-0123 SF: 0.00

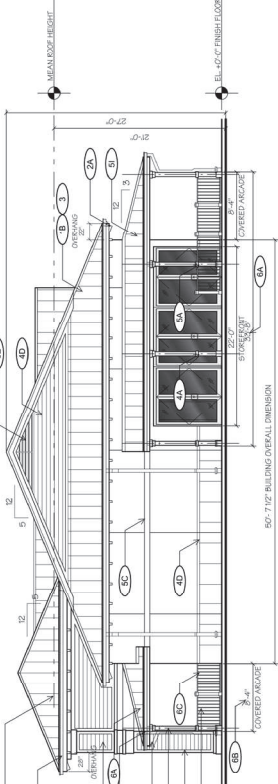
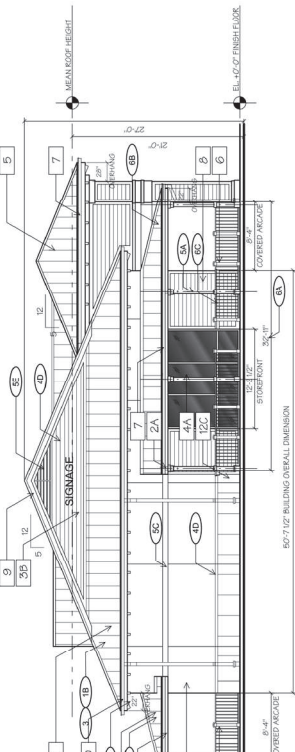
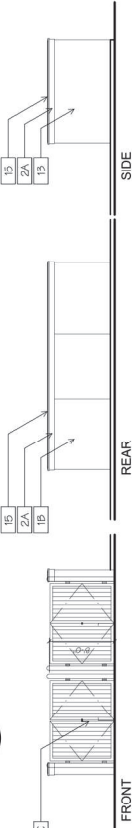
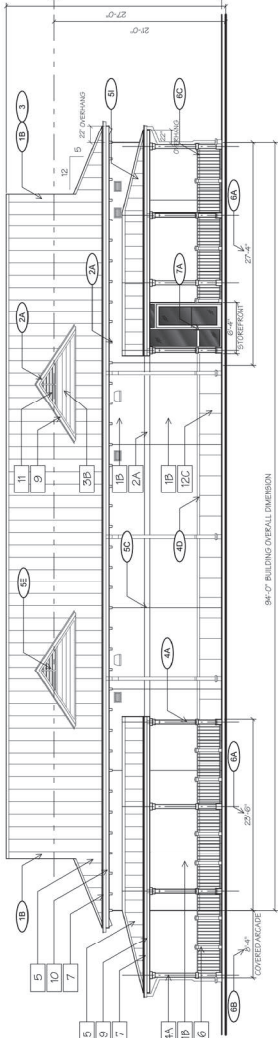
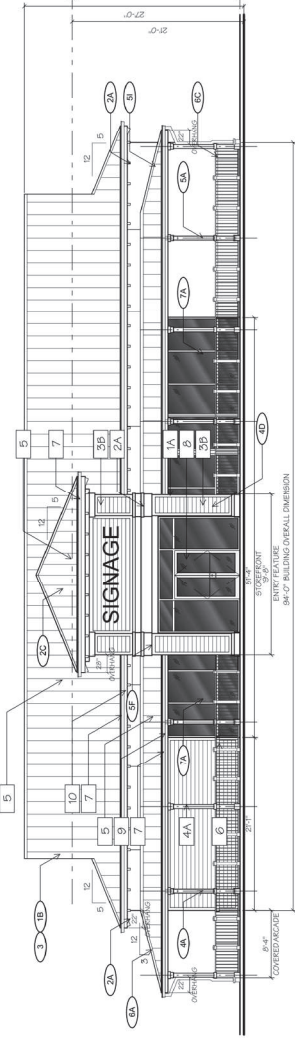
DNA CD

DAVID
DOWNEY, 21-0

1

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These drawings are the property of the architect and are
not to be used for underwriters or on other projects except

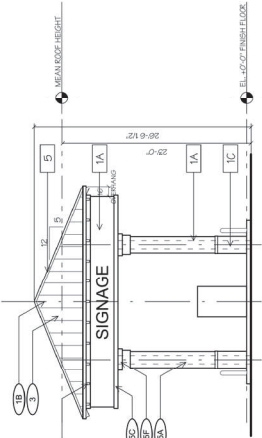
Exhibit E-4 – Preliminary Architectural Elevations

[illegible][illegible][illegible]

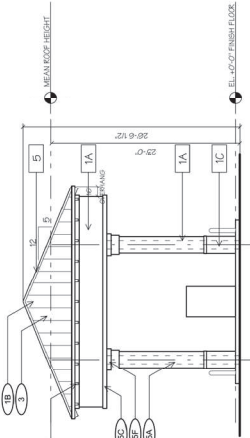
LOCATION MAP	AMENDMENTS	ZONING STAMP

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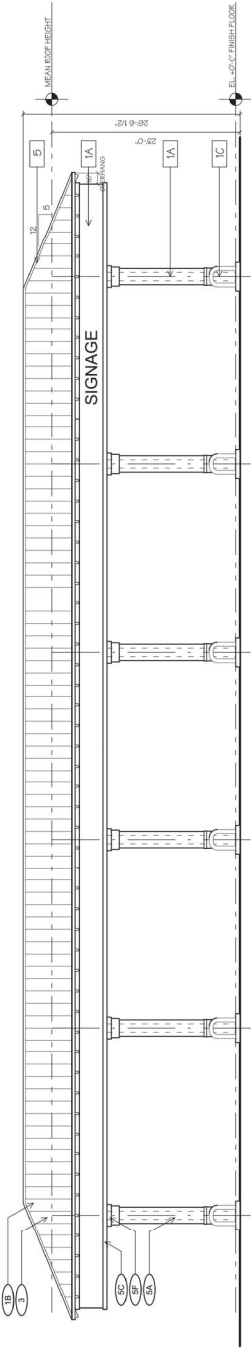
West End Crossing MUPD Northlake Blvd & Seminole Pratt Whitney Road Preliminary Architectural Elevations	BUILDING Palm Beach County, Florida	
	PROJECT	
JOB NUMBER SCALE ISSUE DATE PERMIT DATE REV DATE	220026 AS NOTED 5/19/25	SHEET 1 OF 2
DRAWN BY CHECKED BY DISCIPLINE PLAN TYPE PART NUMBER	RW ARCHITECTURE ELEVATIONS PAE-1	1 OF 2



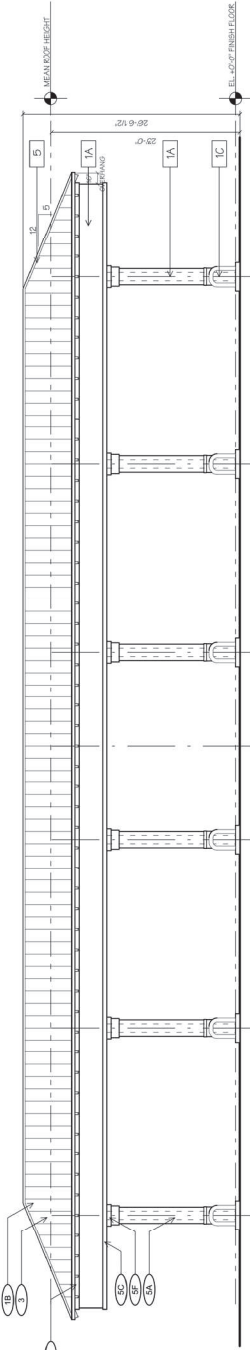
1 FUELING CANOPY SIDE (NORTH) ELEVATION
1/8" = 1'-0"



3 FUELING CANOPY SIDE (SOUTH) ELEVATION
1/8" = 1'-0"



2 FUELING CANOPY FRONT (WEST) ELEVATION



4 FUELING CANOPY FRONT (EAST) ELEVATION

Table 4.1 - Non-Discretionary Elements		Table 4.2 - Discretionary Elements	
LCOC	LCOC	LCOC	LCOC
1	2	3	4
Primary/secondary payment to Table 4.1.1.1	Primary/secondary payment to Table 4.1.1.1	Primary/secondary payment to Table 4.1.1.1	Primary/secondary payment to Table 4.1.1.1
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[illegible][illegible]

MATERIAL SCHEDULE		Northlake Semester First	Florida	Grade Equivalents
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98	98.00	98.00	98.00	98.00
99	99.00	99.00	99.00	99.00
100	100.00	100.00	100.00	100.00

LOCATION MAP	AMENDMENTS	ZONING STAMP
<p>SEMINOLE COUNTY WHITNEY RD.</p> <p>N</p> <p>SITE</p> <p>NORTHLAKE BLVD</p> <p>REDLINE HIGHWAY</p> <p>P&S BLVD</p> <p>R. ROBERTS' TURNPIKE</p>		

AMENDMENTS

A location map showing the intersection of Northlake Blvd and Seashore Pkwy. The map includes labels for 'FLOODING THREATS', 'PG&E BLVD', 'SEASHORE PKWY', 'NORTHLAKE BLVD', 'SITE', and 'N'. A north arrow is also present.

Exhibit E-4 - Disclosure

DISCLOSURE OF OWNERSHIP INTERESTS – APPLICANT

[TO BE COMPLETED AND EXECUTED ONLY WHEN THE APPLICANT IS NOT THE OWNER OF THE SUBJECT PROPERTY]

TO: PALM BEACH COUNTY PLANNING, ZONING AND BUILDING EXECUTIVE
DIRECTOR, OR HIS OR HER OFFICIALLY DESIGNATED REPRESENTATIVE

STATE OF FLORIDA
COUNTY OF PALM BEACH

BEFORE ME, the undersigned authority, this day personally appeared
Peter Brock, hereinafter referred to as "Affiant," who
being by me first duly sworn, under oath, deposes and states as follows:

1. Affiant is the [] individual or [x] Manager [position—e.g., president, partner, trustee] of PB-REZ, LLC [name and type of entity - e.g., ABC Corporation, XYZ Limited Partnership], (hereinafter, "Applicant"). Applicant seeks Comprehensive Plan amendment or Development Order approval for real property legally described on the attached Exhibit "A" (the "Property").
2. Affiant's address is: 4650 Donald Ross Road
Suite 200
Palm Beach Gardens, FL 33418
3. Attached hereto as Exhibit "B" is a complete listing of the names and addresses of every person or entity having a five percent or greater interest in the Applicant. Disclosure does not apply to an individual's or entity's interest in any entity registered with the Federal Securities Exchange Commission or registered pursuant to Chapter 517, Florida Statutes, whose interest is for sale to the general public.
4. Affiant acknowledges that this Affidavit is given to comply with Palm Beach County policy, and will be relied upon by Palm Beach County in its review of Applicant's application for Comprehensive Plan amendment or Development Order approval. Affiant further acknowledges that he or she is authorized to execute this Disclosure of Ownership Interests on behalf of the Applicant.
5. Affiant further acknowledges that he or she shall by affidavit amend this disclosure to reflect any changes to ownership interests in the Applicant that may occur before the date of final public hearing on the application for Comprehensive Plan amendment or Development Order approval.
6. Affiant further states that Affiant is familiar with the nature of an oath and with the penalties provided by the laws of the State of Florida for falsely swearing to statements under oath.
7. Under penalty of perjury, Affiant declares that Affiant has examined this Affidavit and to the best of Affiant's knowledge and belief it is true, correct, and complete.



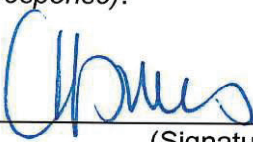
Peter Brock _____, Affiant
(Print Affiant Name)

NOTARY PUBLIC INFORMATION:

STATE OF FLORIDA
COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me by means of ☒ physical presence or
☐ online notarization, this 8th day of May, 2023 by
Peter Brock (name of person acknowledging). He/she is personally
known to me or has produced _____ (type of identification) as
identification and did/did not take an oath (circle correct response).

Monica Kay
(Name - type, stamp or print clearly)


(Signature)

My Commission Expires on: 9/28/23

NOTARY'S SEAL OR STAMP

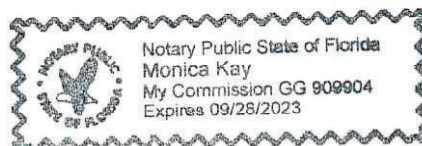


EXHIBIT "A"

PROPERTY

PARCEL 1

THE NORTH 389.49 FEET OF THE SOUTH 638.49 FEET OF THE WEST 209 FEET OF THE EAST 4838 FEET OF SECTION 18, TOWNSHIP 42 SOUTH, RANGE 41 EAST, PALM BEACH COUNTY, FLORIDA.

PCN:00-41-42-18-00-000-7910

PARCEL 2

THE NORTH 389.49 FEET OF THE SOUTH 638.49 FEET OF THE WEST 209 FEET OF THE EAST 5047 FEET OF SECTION 18, TOWNSHIP 42 SOUTH, RANGE 41 EAST, PALM BEACH COUNTY, FLORIDA.

PCN:00-41-42-18-00-000-7920

PARCEL 3

THE NORTH 389.49 FEET OF THE SOUTH 638.49 FEET, LESS THE EAST 5047 FEET OF SECTION 18, TOWNSHIP 42 SOUTH, RANGE 41 EAST, PALM BEACH COUNTY, FLORIDA.

PCN:00-41-42-18-00-000-7930

SAID LANDS LYING IN SECTION 18, TOWNSHIP 42 SOUTH, RANGE 41 EAST OF PALM BEACH COUNTY, FLORIDA.

LANDS CONTAINING 258,213 SQUARE FEET/5.9278 ACRES, MORE OR LESS.

EXHIBIT "B"

DISCLOSURE OF OWNERSHIP INTERESTS IN APPLICANT

Affiant must identify all entities and individuals owning five percent or more ownership interest in Applicant's corporation, partnership or other principal, if any. Affiant must identify individual owners. For example, if Affiant is the officer of a corporation or partnership that is wholly or partially owned by another entity, such as a corporation, Affiant must identify the other entity, its address, and the individual owners of the other entity. Disclosure does not apply to an individual's or entity's interest in any entity registered with the Federal Securities Exchange Commission or registered pursuant to Chapter 517, Florida Statutes, whose interest is for sale to the general public.

Name

Address

Peter Brock 4650 Donald Ross Rd. Pbg, FL 33418 100%

DISCLOSURE OF OWNERSHIP INTERESTS – PROPERTY

[TO BE COMPLETED AND EXECUTED BY THE PROPERTY OWNER(S) FOR EACH APPLICATION FOR COMPREHENSIVE PLAN AMENDMENT OR DEVELOPMENT ORDER]

TO: PALM BEACH COUNTY PLANNING, ZONING AND BUILDING EXECUTIVE DIRECTOR, OR HIS OR HER OFFICIALLY DESIGNATED REPRESENTATIVE

STATE OF FLORIDA
COUNTY OF PALM BEACH

BEFORE ME, the undersigned authority, this day personally appeared
Derek Brock, hereinafter referred to as "Affiant," who
being by me first duly sworn, under oath, deposes and states as follows:

- 1. Affiant is the [] individual or [x] Manager [position - e.g., president, partner, trustee] of West End Crossing, LLC C/o PB-REZ GP, LLC [name and type of entity - e.g., ABC Corporation, XYZ Limited Partnership] that holds an ownership interest in real property legally described on the attached Exhibit "A" (the "Property"). The Property is the subject of an application for Comprehensive Plan amendment or Development Order approval with Palm Beach County.
- 2. Affiant's address is: 4650 Donald Ross Road
Suite 200
Palm Beach Gardens, FL 33418
- 3. Attached hereto as Exhibit "B" is a complete listing of the names and addresses of every person or entity having a five percent or greater interest in the Property. Disclosure does not apply to an individual's or entity's interest in any entity registered with the Federal Securities Exchange Commission or registered pursuant to Chapter 517, Florida Statutes, whose interest is for sale to the general public.
- 4. Affiant acknowledges that this Affidavit is given to comply with Palm Beach County policy, and will be relied upon by Palm Beach County in its review of application for Comprehensive Plan amendment or Development Order approval affecting the Property. Affiant further acknowledges that he or she is authorized to execute this Disclosure of Ownership Interests on behalf of any and all individuals or entities holding a five percent or greater interest in the Property.
- 5. Affiant further acknowledges that he or she shall by affidavit amend this disclosure to reflect any changes to ownership interests in the Property that may occur before the date of final public hearing on the application for Comprehensive Plan amendment or Development Order approval.
- 6. Affiant further states that Affiant is familiar with the nature of an oath and with the penalties provided by the laws of the State of Florida for falsely swearing to statements under oath.

7. Under penalty of perjury, Affiant declares that Affiant has examined this Affidavit and to the best of Affiant's knowledge and belief, it is true, correct, and complete.

FURTHER AFFIANT SAYETH NAUGHT.



Derek Brock, Affiant
(Print Affiant Name)

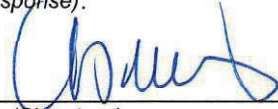
NOTARY PUBLIC INFORMATION:

STATE OF FLORIDA
COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me by means of [☒] physical presence or [☐] online notarization, this 14th day of January, 20 25 by Derek Brock (name of person acknowledging). He/she is personally known to me or has produced _____ (type of identification) as identification and did did not take an oath (circle correct response).

Monica Kay

(Name - type, stamp or print clearly)



(Signature)

My Commission Expires on: 9/28/27

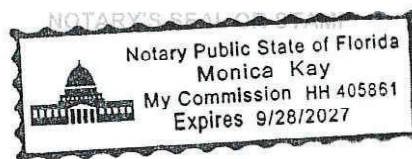


EXHIBIT "A"

PROPERTY

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EXHIBIT "B"

DISCLOSURE OF OWNERSHIP INTERESTS - PROPERTY

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Name

Address

West End Crossing LLC

4650 Donald Ross Rd.

Suite 200

PBG, FL 33418

50%

PB Rez GP LLC

4650 Donald Ross Rd

Suite 200

PBG, FL 33418

50%

Exhibit E-6 - Drainage Statement

WEST END CROSSING DRAINAGE STATEMENT

INTRODUCTION:

The proposed development is a 5.92± acre parcel that is currently a vacant lot. The development proposes constructing a gas station with convenience store, a general commercial building, and a medical office with associated parking, drive aisles, and landscaping.

EXISTING CONDITIONS:

The affected area is currently vacant and is located at the southeast corner of Northlake Blvd and Seminole Pratt Whitney Road in unincorporated Palm Beach County. The existing site does not have any drainage infrastructure. The site is within the Indian Trail Improvement District (ITID) service area upper M-1 basin but is not currently adjacent to any of their facilities. The site is bordered on the East by vacant land (future ITID property), the South by residential homes, the West by Seminole Pratt Whitney Road right-of-way, and on the North by the Northlake Blvd right-of-way. The site slopes generally from the northwest to the southeast. Historical offsite drainage across the site is minimal and from the adjacent roadways. Palm Beach County has these roadways under reconstruction, and they are conveying this runoff internally, so no offsite runoff is anticipated. The site is not located within a special flood hazard area (FEMA Zone X).

PROPOSED DESIGN:

The proposed development will require pretreatment and storage of stormwater runoff per state and County requirements and ITID water management policy. The development's drainage system may include installation of pavement, curbs, grass swales, storm inlets, exfiltration trenches, underground storage system, and conveyance piping. The site is within the M-1 basin and is allowed offsite discharge. The site will be designed to contain the 25-year 3-day runoff onsite without offsite connection other than from a minimum bleeder orifice and connecting pipe. The point of legal positive outfall will be one of two options depending on the status of the Palm Beach County North Lake roadway and drainage improvements project.

First option for the point of legal positive outfall, if the roadway is complete when the project is approved for construction, will be the adjacent proposed Palm Beach County (PBC) drainage system. The specific connection will be to the stormwater pond to the east of the property. Currently the system is wholly contained in PBC land and a permit modification of the PBC permit will be required. Eventually, PBC plans to transfer ownership of land to the east of the site to ITID. If the project is still within permitting after PBC dedicates the land to ITID, then a PBC permit modification will not be required and a direct connection to ITID will be sought as ITID will own the stormwater pond. In either case, the owner will apply for a Special Permit that meets the ITID SWM Policy requirements.

Second option for the point of legal positive outfall, if the county roadway is not complete when the project is approved for construction, will be the ITID canal located approximately 375' north of the project. The site's allowable discharge will be conveyed in new piping within the Seminole Pratt Whitney Road ROW.

The volumetric water quality criteria are:

- a. Wet detention volume shall be provided for the first inch of runoff from the developed project or the total runoff of 2.5 inches times the percentage of imperviousness, whichever is greater.
- b. Dry detention volume shall be provided equal to 75 percent of the above amounts computed for wet detention.
- c. Retention volume shall be provided equal to 50 percent of the above amounts computed for wet detention. Retention volume included in flood protection calculations requires a guarantee of long-term operation and maintenance of system bleed-down ability.

In addition to the state required volume, the site will be required to provide 0.5" of dry pre-treatment for water quality which will be accomplished within either proposed exfiltration trenches, underground dry storage, and/or dry swale areas. It is acknowledged that only the equivalent of 3.28 inches is allowed for storm water attenuation in exfiltration trench for large storm events.

In addition to meeting the County and State water quality and water quantity requirements on-site, the ITID requires their own Compensating Storage for commercial projects within their M-1 basin. Upon adoption in 2019, new sites are required to provide equal compensating storage at 22.1' NGVD (20.58' NAVD) with zero discharge. Underground storage systems and possibly exfiltration trenches and swales will be used to

provide the required IDIT compensating storage. Although not currently anticipated, if any additional parcels are used for ITID equal compensating storage, they will either be donated to ITID or placed under restrictive covenant.

A perimeter berm will be set at a minimum elevation to contain the volume of runoff from the 25-year 3-day storm event. The minimum pavement grade will be at or above the staging of the 10-year 1-day storm event. The finish floor will be at or above the minimum of the FEMA flood map elevation or the calculated 100-year 3-day storm event. The 25-year 3-day onsite stage will not exceed the pavement elevation at the outside edge of the highest through lane (one in each direction) for thoroughfare-plan streets.

The drainage system will require the following permitting agencies approval/permit: ITID, SFWMD, and PBC RW.

CONCLUSION

The proposed development will be designed in compliance with the storm water criteria set forth in the state/county code and ITID water management policy. The development will provide the ITID storm compensation requirement onsite (and/or on a separate parcel as necessary) and will be above flood criteria. The proposed development will not adversely impact the adjacent properties.

Erik J. Wilczek, Professional Engineer, State of Florida, License No. 58216

This item has been digitally signed and sealed by ERIK WILCZEK, P.E. on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Exhibit E-7 - Utility Letter



Letter for
Concurrency Reservation

To: Zoning Division
PBC Planning, Zoning, & Building Department

From: Ebony M. Foreman, Director
Finance and Administration
PBC Water Utilities Department

Date: February 5, 2024

Control # 00204

Re: PZ&B Application #: PDD/W/CA-2023-00843
Project Name – West End Crossing MUPD

The Palm Beach County Water Utilities Department is willing and able to provide the following utility service(s) to the property identified below, and will reserve the indicated utility capacity, in Equivalent Residential Connections (ERCs), for a period not to exceed five (5) years from the date of this letter:

Service Type	Capacity (in ERCs)
Potable Water	<u>54.90</u>
Wastewater	<u>54.90</u>
Reclaimed Water	<u>N/A</u>

An Equivalent Residential Connection represents a system capacity equivalency unit that corresponds to the peak design demand of the 5/8 x 3/4 inch meter sub-category of customer usage. This system capacity equivalency unit is utilized to establish the system demand for various sized connections for the purpose of assessing fees and designing the capacity of capital facilities.

The above capacity is reserved for the following property:

00-41-42-18-00-000-7910, 00-41-42-18-00-000-7920, 00-41-42-18-00-000-7930

Before the five (5) year period expires, the Developer must pay all Service Initiation Fees and connect to the Department's facilities, or for projects greater than 18.3 ERCs, enter into a Standard or Non-Standard Development Agreement to maintain this capacity reservation. This memorandum does not represent a contract for service, and the Developer remains obligated to meet all of the requirements of the Water Utilities Department prior to obtaining utility service.

Approved By: 
Director of Finance & Administration

Date: 06-Feb-24

Exhibit E-8 - Justification Statement

WEST END CROSSING MUPD

JUSTIFICATION STATEMENT

June 14, 2023

Revised: October 23, 2023

December 26, 2023

March 25, 2024

June 24, 2024

July 22, 2024

August 26, 2024

November 22, 2024

April 1, 2025

INTRODUCTION

On behalf of the Applicant, PB Rez, LLC, c/o Brock Development Corporation (“Applicant”) and the property owner, Northlake Coconut Property, LLC (“Owner”), Cotleur & Hearing (“Agent”) respectfully requests your approval of these applications for a Rezoning, one (1) Class A Conditional Uses, and one (2) use permitted by right for the property located in unincorporated Palm Beach County. The subject property consists of 5.93 acres (PCNs:00-41-42-18-00-000-7930, 00-41-42-18-00-000-7920, 00-41-42-18-00-000-7910) located at the southeast corner of Northlake Boulevard and Seminole Pratt Whitney Road and is comprised of three (3) parcels per the attached legal description.

Currently, the property is subject to concurrent review for a Future Land Use Amendment from Rural Residential, 1 unit per 2.5 acres (RR-2.5) to Commercial Low (CL). To be consistent with the proposed CL Future Land Use Designation it is necessary for the property to be rezoned to a compatible zoning designation. Therefore, the Applicant is requesting to rezone the property from its existing Agricultural Residential (AR) designation to the Multiple Use Planned Development (MUPD) designation. Finally, the Applicant is requesting one (1) Class A Conditional uses and two (2) use permitted by right on the site which consist of a retail gas station and convenience store, Retail Sales, and Medical Office.

APPROVALS

There are no previously approved development orders for the subject property.

ACERAGE NEIGHBORHOOD PLAN

The Acreage neighborhood plan serves as a document to help serve the citizens of the Acreage and their recommendations for the future development of the area. The plan provides recommendations for commercial development addressing various points. We are dedicated to meeting these recommendations to the best of our ability to ensure adequate and safe development of the subject site that will serve the Acreage Community for years to come.

Land Use

- a. *L1. Maintain and protect a large lot, single family dwelling unit, Residential land use pattern throughout The Acreage Unified Planning Area.*

RESPONSE: We understand and respect the community's longstanding commitment to preserving a large-lot, single-family residential character. However, the subject site's strategic location at the intersection of Northlake Boulevard and Seminole Pratt Whitney Road — two designated arterial roadways — presents a unique context where traditional residential development is not ideal. The proposed rezoning to MUPD and associated low-intensity commercial uses are tailored to serve the surrounding community's day-to-day needs without disrupting its rural identity. The project incorporates substantial setbacks, extensive landscaping, and architectural design that reinforces compatibility with the character of The Acreage.

- b. *L2. Encourage agricultural usage of property allowed by the Palm Beach County Comprehensive Plan and Unified Land Development Code.*

RESPONSE: While we fully support the broader intent to preserve agricultural uses in The Acreage, this particular site is located at one of the area's most prominent intersections, which makes continued agricultural use impractical. The proposed development introduces needed local services within a limited and well-contained area, reducing the need for residents to travel long distances for basic conveniences. Importantly, the proposal will not impact surrounding agricultural uses and has been thoughtfully planned to ensure environmental sensitivity and community benefit.

- c. *L3. Retain the existing Future Land Use Classification of RR10 (Rural Residential) as shown on the Palm Beach County Future Land Use Atlas throughout The Acreage Unified Planning Area.*

RESPONSE: We are requesting a Future Land Use Amendment from RR-2.5 to Commercial Low (CL) to accommodate the growing demand for neighborhood-scale services in the western communities. This request reflects major changes in the surrounding land use patterns, including the

development of Westlake and Avenir, which were not anticipated at the time of the RR-10 designation. The proposed use will be small in scale, locally oriented, and buffered appropriately, reinforcing the overall rural context while meeting current and future needs.

- d. *L4. Retain the existing zoning classification of AR (Agricultural Residential) throughout The Acreage Unified Planning Area.*

RESPONSE: The rezoning request to MUPD aligns with the proposed CL Future Land Use designation and acknowledges the site's location at a major intersection that is no longer well-suited for agricultural or residential zoning. The MUPD designation enables a coordinated, well-buffered site plan that limits visual and operational impacts on surrounding uses. The project has been carefully designed to complement rather than compete with the surrounding land use character, incorporating community input and high design standards.

- e. *L5. Prohibit any site-specific land use changes or amendments to the Land Use Element of the Palm Beach County Comprehensive Plan that would affect the overall goals of The Acreage Community Plan or property within The Acreage Unified Planning Area prior to The Acreage community reviewing the proposed change or amendment at public hearing.*

RESPONSE: We fully support this important procedural safeguard. In keeping with this recommendation, our team met with the Acreage Landowners Association on **December 17, 2024**, and again on **April 14, 2025**, at the ITID offices to present the project and receive community feedback. We remain committed to continuing these conversations and ensuring all proposed amendments are subject to public discussion and local input before any decisions are made.

- f. *L6. Palm Beach County shall notify The Acreage Landowners Association in writing about proposed land use amendments, rezoning, text changes or interpretations within the Palm Beach County Comprehensive Plan or Unified Land Development Code that affect The Acreage Unified Planning Area.*

RESPONSE: We appreciate the importance of ensuring that The Acreage Landowners Association remains fully informed about land use activity within its boundaries. While formal notification is the County's responsibility, we have taken additional steps to engage directly with the ALA through two in-person meetings and will continue to share project updates and respond to community input proactively throughout the approval process.

- g. L8- Should commercial uses be located within The Acreage Unified Planning Area; the building style and landscaping should be compatible with the surrounding residential community. The proposed commercial use shall be presented to The Acreage Landowners Association at a public hearing as an agenda item for discussion.*

RESPONSE: In alignment with these principles, our proposed project for the 5.93-acre property at the southeast corner of Northlake Boulevard and Seminole Pratt Whitney Road reflects a meticulous approach to ensure compatibility. Our design considerations encompass a building style and landscaping plan that seamlessly integrates with the residential surroundings, respecting the existing community character.

Furthermore, we acknowledge and fully endorse the suggestion that our proposed commercial use be presented to The Acreage Landowners Association at a public hearing for open discussion. We believe in the importance of community involvement and value the insights that residents can provide. This inclusive approach aligns with our commitment to transparent communication and collaboration.

Our applications, including the request for a Future Land Use Amendment, rezoning to Multiple Use Planned Development (MUPD), and the proposals for Class A Conditional Uses and uses permitted by right, have been carefully crafted to meet the evolving needs of the community while respecting the established guidelines.

We look forward to the opportunity to discuss our project in further detail during the public hearing, addressing any concerns and gathering valuable feedback to enhance our proposal. We believe that through collaborative efforts, we can create a development that not only adheres to the Acreage Unified Planning Area guidelines but also contributes positively to the surrounding community.

- h. L9- Should commercial uses locate within The Acreage Unified Planning Area, a minimum of one hundred (100) feet (inclusive of all easements) shall be used as a vegetative setback (buffer) from property zoned AR (Agricultural Residential) or Public Ownership (PO). Parking shall not be allowed within the 100-foot setback. Commercially zoned property shall be one lot and have a minimum of ten (10) acres and a maximum of forty (40) acres. An overall maximum of one hundred and twenty (120) acres of commercially zoned property shall be permitted within the entire Acreage Unified Planning Area. Commercial property shall be located at the intersection of two (2) County arterials (roads) as designated on the Palm Beach County Thoroughfare Right of Way Identification Map. The*

maximum buildable floor area of a parcel of property shall be ten percent (10%).

RESPONSE: Despite the challenge posed by the recommendation for a minimum vegetative setback of one hundred feet from property zoned AR or Public Ownership, the proposed development on the 5.93-acre property at the southeast corner of Northlake Boulevard and Seminole Pratt Whitney Road is approached with a positive and innovative perspective. Due to the site's specific dimensions, achieving the full 100-foot buffer may present logistical challenges that could compromise the overall project design, functionality, and feasibility. However, this challenge is viewed as an opportunity to implement alternative measures that enhance the buffer creatively, ensuring the project remains in harmony with the surrounding residential community.

Considering changing conditions in the western communities, exemplified by the development of Westlake and Avenir, there is a growing demand for diverse services and amenities in the region. The proposed project, seeking approval for a Future Land Use Amendment and rezoning to Multiple Use Planned Development (MUPD), aligns with the evolving landscape. It is designed not only to meet the needs of the community but also to contribute positively to economic growth.

The benefits of the project to the community are multifaceted. The introduction of essential services, including a retail gas station, convenience store, retail sales, and a Medical Office, promises an economic boost. This not only brings convenience to the local community but also stimulates economic growth and provides much-needed job opportunities, thereby supporting local livelihoods.

The project's commitment to community engagement is paramount. The project team eagerly looks forward to participating in discussions, addressing concerns, and incorporating valuable feedback from The Acreage Landowners Association and the broader community. This collaborative approach ensures that the project not only complies with the vision and values of The Acreage Unified Planning Area but also reflects a commitment to a positive relationship with the community.

In summary, while acknowledging the challenge posed by the setback recommendation, the project team remains dedicated to finding creative solutions that prioritize the well-being of the community. The proposed development aims to be a responsible and community-conscious addition to the evolving landscape of the western communities.

- i. L10- Palm Beach County should protect the aquifer and residents, by prohibiting the permitting of petroleum facilities (ie. fuel stations, auto/truck repair, junk/salvage yards, paint shops, etc...) within The Acreage Unified*

Planning Area. A limited number of fuel stations having no walk-in retail capacity and consisting of a maximum of four pump with one fuel dispenser per side for a maximum of eight dispensing nozzles total that include safeguard measures that meet or exceed state and federal standards on fuel dispenser and storage systems, such as state-of-the-art secondary containment systems, may be allowed on existing commercial sites subject to Acreage Landowners Association approval.

RESPONSE: While we acknowledge the recommendation to limit fueling pumps within The Acreage Unified Planning Area, it is important to highlight the unique circumstances of the proposed project. The subject site, encompassing 5.93 acres at the southeast corner of Northlake Boulevard and Seminole Pratt Whitney Road, aims to address the growing population in the western communities, notably influenced by the development of Westlake and Avenir.

The proposal for 12 fueling pumps responds to the increasing demand for services in the area, catering to the expanded residential and commercial needs. As the population has grown, there is a pressing need for convenient access to fueling facilities, and the project aims to serve this demand responsibly.

While the recommendation advises against petroleum facilities, including fuel stations, within The Acreage Unified Planning Area, we propose a careful balance. The project recognizes the necessity to protect the aquifer and residents while addressing the evolving needs of the community. The proposal includes state-of-the-art secondary containment systems that meet or exceed state and federal standards for fuel dispenser and storage systems. Furthermore, the project is designed to have a limited walk-in retail capacity and consists of a maximum of 12 dispensing nozzles distributed across 12 fueling pumps.

The proposed 12 fueling pumps respond directly to the growing needs of the community in the western communities. The project seeks to strike a balance between meeting these demands and implementing stringent measures to safeguard the environment and residents. We appreciate your consideration of these factors and look forward to the opportunity to further discuss and refine the project during the review process.

- j. L11- All non-residential development orders, permits and future land use atlas amendments within The Acreage Unified Planning Area shall be reviewed by The Acreage Landowner Association for compatibility with surrounding uses and consistency with The Acreage Community Plan.*

RESPONSE: We wholeheartedly support having The Acreage Unified Planning Area reviewed by The Acreage Landowner Association. This

collaborative process ensures our commercial subject site aligns seamlessly with the surrounding uses and upholds the principles of The Acreage Community Plan. We welcome this opportunity for dialogue, emphasizing our commitment to a positive and cooperative relationship with the community.

WESTERN NORTHLAKE CORRIDOR LAND USE STUDY

The Western Northlake Boulevard Corridor Land Use Study represents a collaborative initiative between Palm Beach County and the Cities of Palm Beach Gardens and West Palm Beach. The study extensively analyzes the current land use patterns and envisions future developments along Northlake Boulevard, specifically to the west of the West Palm Beach Water Catchment Area and south of the Beeline Highway.

While the region presently retains a predominantly rural character, recent trends indicate a mounting demand for growth and urban expansion. Contained within this comprehensive report are recommendations encompassing future land use designations and innovative growth management techniques. These proposals are formulated with the overarching goal of facilitating efficient and well-considered growth and development within the Western Northlake Boulevard Corridor.

Transportation/ Roadway Network

Maintaining traffic flow on Northlake Boulevard should be a priority, given that this is the only east/west access for the northern portion of the acreage. Strip commercial development should be prohibited. Additional design guidelines and standards along this stretch of Northlake Boulevard should also be adopted which will not only help define the urban and rural character of the area, but also cut down on curb cuts and maintain traffic flow.

RESPONSE:

Northlake Blvd-

One key consideration integral to our proposal is the ongoing construction to expand Northlake Boulevard to six lanes. Recognizing the significance of this expansion, our proposed commercial site, featuring a gas station, retail space, and a Medical office within an efficient footprint of less than 20,000 sq ft, is strategically positioned at a major intersection of Northlake Boulevard and Seminole Pratt Whitney Road.

Contrary to commercial strip development, our project is not geared towards destination uses but rather aims to serve the specific needs of the residents in the western communities. It is imperative to emphasize that maintaining traffic flow on Northlake Boulevard is a top priority for our project, particularly considering it serves as the primary east/west access for the northern portion of the acreage.

In addition to this, we advocate for the adoption of additional design guidelines and standards specific to the stretch of Northlake Boulevard where our project is situated. These guidelines not only contribute to defining the urban and rural character of the area but also serve to minimize curb cuts, further enhancing traffic flow efficiency.

We believe that by incorporating these measures into our proposal, we are not only meeting the immediate needs of the community but also aligning with the broader vision outlined in the land use study. Our goal is to contribute responsibly to the growth of the region while maintaining the essential balance between urban development and the preservation of the area's unique character.

Seminole Pratt Road-

Seminole Pratt Road has increasingly become a major collector street as new developments including West Lake and more recently approved developments are being built out. It is currently listed as a highly constrained roadway intersection operating at a lower level of service. See exhibit 5, PBC GIS Map- Constrained roadways at lower level of service. This shows that there is an increasingly high traffic volume through this exact intersection. This is due to the population increase and limited alternative routes available.

Seminole Pratt from Orange Blvd. to Northlake Blvd will widen from 2 lanes to a 4-lane divided roadway, with eventual capacity for 6 lanes. See Palm Beach County Project No. 1997511D & 1997512A3. See Exhibit 6 for Palm Beach TPA 2045 GIS Roadway Projects Map. This map shows the projected road expansion of Seminole Pratt Road from Northlake to Beeline highway through expansions and extensions to 100th Ln N (PBC109), Avenir (PBC110), and finally Beeline. Making the subject site a last stop for gas and amenities before entering an area with very few commodities as it is mostly Industrial (Industrial/ Residential) in the area along beeline.

The only other option for commuters heading North and South will be the future extension and expansion of State Road 7 from Okeechobee to 60th and Northlake, which is listed as a pending Major Project. See FDOT project numbers 2296643, 2296645, 2296646, 2296644, and 2296647 as part of the Palm Beach Transportation Planning Agency Transportation Improvement Program adopted in June of 2024.

Commercial Development

The study area is predominantly rural, and therefore, only neighborhood commercial uses should be permitted. There is sufficient neighborhood commercial acreage to meet the needs of the current and projected population through approximately the year 2010, with three centers under construction to meet current and

future needs. A slight demand currently exists for office in the area, approximately 5,000 sq. ft. Beyond the year 2010, a need arises for some neighborhood commercial uses, about 27,000 sq.ft., and by 2015, demand for neighborhood uses is projected to be approximately 73,000 sq.ft. Neighborhood type commercial uses, should be planned in appropriate locations, with timing and phasing, to meet the local needs of the future population. Neighborhood uses should only be permitted in the urban service area, in nodes or centers that meet approved location criteria, or as part of planned developments. Community or regional commercial services should be restricted to more urbanized areas to the east - and not permitted in the study area. Strip commercial development should be prohibited along Northlake boulevard, in order to maintain traffic flow and the rural character of the area.

RESPONSE: The Western Northlake Boulevard Corridor is currently experiencing extensive population growth, which exceeds the original projections noted in the study, largely attributed to the developments in the western communities, such as Westlake and Avenir. The study underscores the predominantly rural character of the area, recommending that only neighborhood commercial uses be permitted.

The 2010 Western Northlake Corridor Land Use Study Commercial and Office Needs Update (1.E.4 WNCLUS) called for increased commercial and office usage to meet the growing development demands in the Western Northlake Corridor and Trade Market Area at the time. The development demand has increased since their predicted numbers and additional commercial space has not been built out nor a recent periodic update to the study conducted as referenced in the interlocal agreement entered into by the Board of County Commissioners of Palm Beach County, The City of Palm Beach Gardens and The City of West Palm Beach in Resolution 2010-1754, See Exhibit 1. See Exhibit 2. Map 8.1 shows locations of Approved Non-Residential Square Footage from 2010 study.

In 2010, The WNCLUS update stated that to determine the existing commercial/office needs of the market area, the staff team agreed that 27SF per person was an adequate multiplier.

- As of 2008 the WNCLUS market area had a population of 16,443 which would necessitate 443,961 SF of commercial/office space.
- By the expected 2025 build out staff anticipated a population of 18,982 which would necessitate 443,961SF of commercial/office space. Or
The 2025 Build out of the area was expected to be 8,126 homes which would necessitate 572,616 SF of commercial/office space through alternative calculation methods.
- The Current population is 44,160 within the WNCLUS which should necessitate more than 1,192,230 SF of commercial/office space.

Our proposed project conscientiously adheres to this recommendation by incorporating a commercial site featuring a gas station, retail space, and a Medical office, all within a footprint of less than 20,000 sq ft. This intentionally modest scale ensures compatibility with the rural character of the region while catering to the evolving needs of the local population.

The study recognizes the existing and projected needs for neighborhood commercial uses and suggests that such developments should be planned in appropriate locations, with careful attention to timing and phasing. In line with this guidance, our project is strategically positioned to meet the local needs of the future population, contributing to the responsible growth and development of the area.

Moreover, the Western Northlake Boulevard Corridor Land Use Study underscores the importance of confining neighborhood commercial uses to the urban service area, in nodes or centers that meet approved location criteria or as part of planned developments. The proposed planned development aligns with this directive, ensuring that it is situated appropriately to serve the immediate community without encroaching on the rural expanses.

COMPATIBILITY

To address the potential impacts on adjacent residential lands related to traffic, noise, and lighting resulting from the proposed uses (gas station, retail, and a Medical Office), a comprehensive mitigation plan should be implemented. Here are potential measures to address each concern:

Traffic:

We have conducted a thorough traffic impact assessment to understand potential congestion and identify mitigation measures. We have implemented traffic management solutions, such as dedicated turning lanes, signal adjustments, or additional access points, to minimize disruptions to residential areas. We have also considered peak-hour scheduling for deliveries and service activities to avoid congestion during residential peak times.

Noise:

We are proposing to install sound barriers and landscaping features like dense vegetation to act as natural noise buffers between the commercial development and residential properties. We are also looking into utilizing noise reduction technologies for the restaurant operations. Implementing operational restrictions during specified hours to minimize noise during residential quiet times.

Lighting:

We will be designing a lighting system to minimize light spillage in adjacent residential areas. Use shielded and downward-facing fixtures to direct light where it is needed without causing light pollution. Implement timers or sensors to adjust lighting levels during non-business hours to reduce unnecessary illumination. Additionally, community engagement and collaboration with residents can help identify specific concerns and tailor mitigation measures accordingly. Regular communication channels, such as community meetings, can be established to keep residents informed about the development plans and mitigation efforts.

It is crucial to work closely with relevant municipal authorities and adhere to local regulations and zoning requirements to ensure the proposed uses are in compliance and that the mitigation measures are effective in addressing potential impacts on adjacent residential lands.

PDD ART. 3.E.C DESIGN OBJECTIVES

Planned developments shall comply with the following objectives:

a. Contain sufficient depth, width, and frontage on a public street, or appropriate access thereto, as shown on the PBC Thoroughfare Identification Map to adequately accommodate the proposed use(s) and design;

RESPONSE: The proposed development is located at the southeast corner of Northlake Boulevard and Seminole Pratt Whitney Road, both of which are arterial roads as per the Palm Beach County Thoroughfare Identification Map. The site exceeds the minimum lot size, width, and frontage requirements for an MUPD zoning district, ensuring it adequately accommodates the proposed uses.

b. Provide a continuous, non-vehicular and pedestrian circulation systems which connect uses, public entrances to buildings, recreation areas, amenities, usable open space, and other land improvements within and adjacent to the PDD; [Ord. 2019-005]

RESPONSE: The site plan includes a walking trail within a 50' rural parkway, connecting key site elements such as buildings, recreation areas, and public entrances. Pathways ensure seamless pedestrian access within the development and provide connectivity to adjacent properties and improvements in the surrounding community.

c. Provide pathways and convenient parking areas designed to encourage pedestrian circulation between uses;

RESPONSE: The development incorporates pedestrian pathways connecting the proposed retail spaces, gas station, and restaurant. Conveniently located parking spaces exceeding minimum requirements are provided to support pedestrian activity between the uses.

d. Preserve existing native vegetation and other natural/historic features to the greatest possible extent;

RESPONSE: The applicant is working with Palm Beach County Environmental Resources Management (ERM) to preserve environmentally sensitive areas. The landscape buffers and rural parkway also include native vegetation to enhance the site's natural aesthetic and reduce environmental impact.

e. Screen objectionable features (e.g., mechanical equipment, loading/delivery areas, storage areas, dumpsters, compactors) from public view and control objectionable sound;

RESPONSE: The design includes a 6' opaque wall and substantial landscape buffers to screen loading areas, dumpsters, and mechanical equipment. The proposed layout strategically places these features away from public view to minimize visual and sound impacts.

f. Locate and design buildings, structures, uses, pathways, access, landscaping, water management tracts, drainage systems, signs, and other primary elements to minimize the potential for any adverse impact on adjacent properties;

RESPONSE: The site layout and design strategically position higher intensity uses away from sensitive boundaries. Significant buffers, including a 50' rural parkway and incompatibility landscape buffers, mitigate potential noise, light, and visual impacts on adjacent properties. The design includes a 6' opaque wall at the south property line along with a 30' width buffer.

g. Minimize parking through shared parking and mix of uses;

RESPONSE: Shared parking areas are provided to support all proposed uses efficiently. The parking count balances the needs of the gas station, retail spaces, and restaurant while encouraging pedestrian connectivity between uses.

h. Creation of a strong pedestrian system through the design and placement of buildings connected to a common public space or usable open spaces; and, [Ord. 2019-005]

RESPONSE: Buildings are oriented to promote pedestrian activity, with outdoor patio areas and benches incorporated into the design. The central walking trail provides a unifying feature that links public spaces and promotes community interaction.

i. For PDDs with non-residential uses, a minimum of one pedestrian amenity for each 100,000 square feet of non-residential GFA, or fraction thereof, shall be incorporated into the overall development to create a pedestrian-friendly atmosphere. Suggested amenities include, but are not limited to: [Ord. 2009-040] [Ord. 2019-005]

- 1) public art; [Ord. 2009-040]
- 2) clock tower; [Ord. 2009-040]
- 3) water feature/fountain; [Ord. 2009-040]
- 4) outdoor patio, courtyard, or plaza; and, [Ord. 2009-040]
- 5) tables with umbrellas for open-air eating in common areas and not associated with tenant use (i.e., restaurant) or outdoor furniture. [Ord. 2009-040]

RESPONSE: The project includes multiple pedestrian-friendly features, such as:

1. Outdoor patio areas for community use with covered porches at every building.
2. A walking trail within the rural parkway.
3. Benches at every building entrance. These amenities exceed the minimum requirements, fostering a welcoming and interactive pedestrian environment.

2. PERFORMANCE STANDARDS

Planned developments shall comply with the following standards:

a. Access and Circulation

1) Minimum Frontage

PDDs shall have a minimum of 200 linear feet of frontage along an Arterial or Collector Street unless stated otherwise herein; [Ord. 2010-022] [Ord. 2012-027]

RESPONSE: The site has 646.14 linear frontage on Northlake Boulevard, an arterial street, and exceeds the minimum requirement of 200 feet for PDDs.

a) Type 2 Waiver – Infill Development

The BCC may grant a Type 2 Waiver to reduce the frontage requirement in the U/S Tier upon demonstration by the Applicant that the requirements cannot be satisfied by any other means and by complying with the following standards: [Ord. 2005-002] [Ord. 2010-022] [Ord. 2012-027]

- (1) the reduction is the minimum necessary to provide safe and adequate access to the project; [Ord. 2005-002]

- (2) the reduction will not result in any undue hardship or adverse impact on adjacent Property Owners; [Ord. 2005-002]
- (3) the reduction will not adversely affect the development of adjacent land in accordance with the Plan and this Code; [Ord. 2005-002]
- (4) the reduction is supported by the County Engineer and PZB; [Ord. 2005-002]

RESPONSE: No waiver is required as the site exceeds the frontage requirements.

b) PUD Minimum

The BCC shall not reduce the frontage requirements below the following thresholds: [Ord. 2005-002]

- (1) 1,500 trips or less: 50 feet of frontage. [Ord. 2005-002]
- (2) More than 1,500 trips: 80 feet of frontage. [Ord. 2005-002]

Further reductions from the frontage requirements shall only be allowed by the ZC as a Type 2 Variance in accordance with Art. 2.B.7.E, Type 2 Variance. [Ord. 2005-002]

RESPONSE: Not applicable; the site's trip generation and frontage exceed the thresholds requiring reductions.

2) PDDs shall have legal access on an Arterial or Collector Street;

RESPONSE: The site has legal access via Northlake Boulevard and Seminole Pratt Whitney Road, both classified as arterial streets.

3) Vehicular access and circulation shall be designed to minimize hazards to pedestrians, nonmotorized forms of transportation, and other vehicles. Merge lanes, turn lanes, and traffic medians shall be required where existing or anticipated heavy traffic flows indicate the need for such controls;

RESPONSE: The design includes dedicated turn lanes and shared parking to minimize hazards for pedestrians and vehicles. Traffic flow measures are incorporated, prioritizing safety and efficiency, including signalized access where appropriate.

4) Traffic improvements shall be provided to accommodate the projected traffic impact;

RESPONSE: The development meets traffic performance standards. A Traffic Generation Statement confirms compliance with projected impacts and mitigation through turn lanes and shared access.

5) Cul-de-Sacs

The objective of this provision is to recognize a balance between dead-end streets and interconnectivity within the development. In order to determine the total number of Local Streets that can terminate in cul-de-sacs, the Applicant shall submit a Street Layout

Plan, pursuant to the Technical Manual. The layout plan shall indicate the number of streets terminating in cul-de-sacs, as defined in Art. 1, General Provisions of this Code, and how the total number of streets is calculated. During the DRO certification process, the Addressing Section shall confirm the total number of streets for the development, which would be consistent with how streets are named. Streets that terminate in a T-intersection providing access to less than four lots, or a cul-de-sac that abuts a minimum 20-foot-wide open space that provides pedestrian cross access between two pods shall not be used in the calculation of total number of cul-de-sacs or dead-end streets. [Ord. 2008-037]

a) 40 percent of the Local Streets in a PDD may terminate in a cul-de-sac or a dead end by right. [Ord. 2007-001] [Ord. 2008-037]

b) An additional 25 percent of the Local Streets in a PDD may terminate in a cul-de-sac pursuant to a Type 2 Waiver application approved by the BCC. The BCC shall consider the following additional standards when deciding whether or not to approve the Waiver. [Ord. 2007-001] [Ord. 2008-037] [Ord. 2012-027]

(1) cul-de-sacs terminate in an open space that provides amenities accessible to the residents of the development; and [Ord. 2008-037]

(2) cul-de-sacs connect to a pedestrian system including but not limited to sidewalks, and designated path or trail systems. [Ord. 2008-037]

RESPONSE: Not applicable; no cul-de-sacs are proposed within the development.

6) Non-residential PDDs shall provide cross access to adjacent properties where possible, subject to approval by the County Engineer;

RESPONSE: Cross access is not applicable to this site.

7) Streets shall not be designed nor constructed in a manner which adversely impacts drainage in or adjacent to the project; and,

RESPONSE: The design adheres to stormwater management standards, preventing adverse impacts on-site and adjacent properties. Drainage complies with SFWMD and County criteria.

8) Public streets in the project shall connect to public streets directly adjacent to the project. If no adjacent public streets exist, and the County Engineer determines that a future public street is possible, a connection to the property line shall be provided in a location determined by the County Engineer. This standard may be waived by the BCC.

RESPONSE: Public street connections are provided, ensuring integration with Northlake Boulevard and Seminole Pratt Whitney Road. Future access considerations align with County Engineer requirements.

b. Street Lighting

Streetlights shall be a maximum of 25 feet in height and shall be installed along all streets 50 feet in width or greater. The light fixture shall be designed to direct light away from residences and onto the sidewalk and street and shall comply with Art. 5.E, Performance Standards.

RESPONSE: Streetlights will be designed to meet height and shielding requirements to minimize light spillage onto residential areas while ensuring visibility and safety.

c. Median Landscaping

Refer to the most recent Engineering and Public Works Operations – Streetscape Standards available from the PBC Engineering Department. [Ord. 2011-001]

RESPONSE: Landscaping will adhere to PBC Streetscape Standards, integrating canopy trees and aesthetic enhancements to medians along arterial roads.

d. Street Trees

Street trees shall meet the Canopy tree requirements of Art. 7, Landscaping and planting standards pursuant to Engineering and Public Works Operations – Streetscape Standards, and as follows: [Ord. 2011-001]

1) Street trees shall be spaced an average of 50 feet on center. Palms meeting the requirements of Art. 7, Landscaping and Engineering and Public Works Operations – Streetscape Standards, may be planted as street trees if spaced an average of 40 feet on center. [Ord. 2011-001]

2) Street trees shall be located along both sides of all streets 50 feet in width or greater and shall be planted between the edge of pavement and sidewalk. Appropriate root barrier techniques shall be installed where applicable. [Ord. 2011-001]

3) Street trees shall be installed in accordance with the phasing of the Planned Development pursuant to Art. 7.F.2.B.1, Developments with Phasing. For residential PDDs, planting of street trees shall be completed prior to the issuance of the final Certificate of Occupancy within that phase or pursuant to Conditions of Approval. [Ord. 2011-001]

4) This requirement may be waived or modified by the County Engineer if the location of the proposed street trees conflict with requirements of Art. 11, Subdivision, Platting, and Required Improvements. [Ord. 2011-001]

RESPONSE: The development incorporates canopy trees spaced per code requirements, ensuring shading and aesthetic quality along all public-facing roads and internal streets. This will be fully addressed in the permitting phase.

e. Bike Lanes

Bike lanes shall be provided in all streets 80 feet in width or greater, unless an alternative is approved by the County Engineer in accordance with Art. 11, Subdivision, Platting, and Required Improvements.

RESPONSE: Bike lanes are not explicitly required for this project. Per the recent FDOT ROW design of Northlake and Seminole Pratt does not incorporate this.

f. Mass Transit

All non-residential PDDs over five acres and 50,000 square feet, and all PUDs over 50 units, shall comply with the following, unless waived by the DRO:

- 1) The location of a Bus Stop Boarding and Alighting Area shall be shown on the Master Plan and/or Final Site Plan prior to approval by the DRO, unless written conflicts that one is not required. The purpose of this easement is for the future construction of Mass Transit Infrastructure in a manner acceptable to Palm Tran;
- 2) Prior to the issuance of the first Building Permit, the Property Owner shall convey to PBC an easement for a Bus Stop Boarding and Alighting Area, in a location and manner approved by Palm Tran. As an alternative, prior to Technical Compliance of the first plat, the Property Owner shall record an easement for a Bus Stop Boarding and Alighting Area in a manner and form approved by Palm Tran. The Property Owner shall construct continuous paved pedestrian and bicycle access compliant with the Americans with Disabilities Act (ADA) to and through the Bus Stop Boarding and Alighting Area; and,
- 3) All PDDs with more than 100 units shall comply with the following requirement: Prior to the issuance of the Building Permit for the 100th unit, the petitioner shall construct a Palm Tran-approved Mass Transit shelter with appropriate access lighting, trash receptacle, and bicycle storage. The location of the shelter shall be within an approved Bus Stop Boarding and Alighting Area easement. Any and all costs associated with the construction and perpetual maintenance shall be funded by the petitioner.

RESPONSE: Palm Tran does not currently serve the site vicinity. Coordination with Palm Tran will occur if mass transit facilities become viable or required.

g. Utilities

All utility services located in a utility easement, such as telephone, cable, gas, and electric, shall be installed underground or combination/alternative acceptable to the DRO.

1) Exceptions

- a) Primary facilities and high voltage wires

b) Lift stations, transformers, and other above-ground structures necessary for the function of utility services. Such above-ground structures shall be screened from view from adjacent R-O-W by landscaping, fences, walls, or combination.

RESPONSE: Utility lines are to be installed underground except for primary facilities and necessary above-ground structures, which will be screened with landscaping or walls per code.

h. Parking

1) Residential Uses

Parking for residential uses shall comply with Art. 6, Parking, Loading, and Circulation. The DRO may require a covenant to be recorded limiting the affected area to a specific use or uses.

2) Non-Residential Uses

Non-residential uses located within a PDD may apply the parking standards indicated in Table 6.B.1.B, Minimum Parking and Loading Requirements, based on the use or the minimum/maximum parking standards below or a combination of both. The Site Plan shall clearly indicate which parking standards are being utilized for the entire site. [Ord. 2009-040] [Ord. 2019-005]

a) Minimum/Maximum Parking Standards

(1) Minimum: one space per 250 square feet of GFA (4/1,000)

(2) Maximum: one space per 166.66 square feet of GFA (6/1,000)

b) Exceptions – MLU/EDC

Parking for large-scale and regional facilities in excess of 500,000 gross square feet may be reduced to one space per 333.33 square feet of GFA (3/1,000).

3) Design Parking areas open to the public shall be interconnected and provide safe efficient flow of traffic. Parking areas directly adjacent to other parking areas in the same project shall have cross access.

RESPONSE: Parking complies with ULDC Table 6.B.1.B, with 85 spaces provided, exceeding the required minimum of 61 spaces and staying within the maximum limit. Parking areas are interconnected for efficient traffic flow and designed to ensure pedestrian safety through marked pathways and curbs

4) Cross Access

Cross access shall be provided to adjacent internal uses/properties, if required by the DRO.

RESPONSE: Cross access cannot be provided per the surrounding uses.

5) Location – Non-Residential PDDs

A minimum of ten percent of the required parking shall be located at the rear or side of each building it is intended to serve.

RESPONSE: At least 10% of parking is located on the sides or rear of the buildings to minimize visual impact from public rights-of-way.

6) Distance

All parking spaces shall be located within 600 linear feet of a public entrance of the building which it is intended to serve.

a) Remote Parking Areas

Paved pedestrian pathways shall be provided to all parking areas in excess of 400 feet from a public entrance. Pathways shall be unobstructed grade separated and/or protected by curbs, except when traversing a vehicular uses area, and clearly marked.

RESPONSE: All parking spaces are within 600 feet of public building entrances. Pedestrian pathways connect remote parking areas where applicable.

I. Way Finding Signs

Off-site directional signs, consistent with the on-site directional sign standards in Art. 8, Signage, may be allowed along internal streets in the R-O-W, subject to approval by the County Engineer.

RESPONSE: Wayfinding signage is not proposed at this time.

j. Emergency Generators

A permanent emergency generator shall be required to meet the standards of Art. 5.B.1.A.19, Permanent Generators. [Ord. 2006-004] [Ord. 2010-022] [Ord. 2021-022]

RESPONSE: Permanent emergency generators will comply with Art. 5.B.1.A.19 to ensure uninterrupted operation during power outages.

ART. 3.E.3.B. OBJECTIVES AND STANDARDS

1. DESIGN OBJECTIVES

An MUPD shall comply with the following objectives:

a. Allow for both residential and non-residential uses within a project that is designed to incorporate vertical or horizontal integration of residential uses, to foster compatibility within and adjacent to the project; [Ord. 2019-005] [Ord. 2021-023]

RESPONSE: The proposed project focuses on horizontal integration of non-residential uses, including retail, gas station, and a Medical Office, designed to meet the needs of the surrounding residential community. The site is located at the intersection of two arterial roads and is compatible with nearby residential areas by providing locally serving amenities while maintaining buffers and a rural character.

b. Provide innovative building location and orientation;

RESPONSE: The building layout optimizes visibility and accessibility from Northlake Boulevard and Seminole Pratt Whitney Road. Structures are oriented to encourage pedestrian flow and shared parking while minimizing impact on adjacent properties. Strategic placement enhances functionality and fosters a cohesive development design.

c. Protect adjacent residential uses from potential adverse impacts;

RESPONSE: Substantial measures are taken to shield adjacent residential areas from potential adverse impacts. These include:

- A 6' opaque wall along sensitive boundaries.
- Type 3 Incompatibility Landscape Buffers with dense vegetation.
- A rural parkway easement along Northlake Boulevard to preserve the area's aesthetic.

These features mitigate noise, light, and visual intrusion.

d. Provide a continuous, non-vehicular and pedestrian circulation system which connect uses, public entrances to buildings, recreation areas, amenities, usable open space, and other land improvements within and adjacent to the MUPD; [Ord. 2021-023]

RESPONSE: The project incorporates:

- A walking trail within the 50' rural parkway for pedestrian connectivity.
- Pathways connecting all buildings, parking areas, and public spaces.
- Integration with adjacent land for seamless pedestrian flow and community accessibility.
- This system encourages non-vehicular movement and enhances community engagement.

e. Allow for landscape design that enhances the appearance of the project; and, [Ord. 2014-025]

RESPONSE: The landscape design includes:

- Wide buffers with native vegetation to enhance the rural aesthetic.
- Canopy trees and additional plantings to create an attractive environment.
- Median and perimeter landscaping consistent with the area's character.

These elements collectively elevate the visual quality of the project.

f. An MUPD with an EDC FLU designation shall be primarily utilized by office and research parks, which may also include manufacturing and processing, research and development, wholesale distribution, and storage of products. [Ord. 2014-025]

RESPONSE: Not applicable. The proposed MUPD is designated for retail, restaurant, and fueling uses and does not include an EDC FLU designation.

ARTICLE 3.E.1.C.1.I. PEDESTRIAN AMENITY

The proposed project fully complies with the pedestrian amenity requirements outlined in the code for Planned Development Districts (PDDs) with non-residential uses. Our proposal includes the following key features to enhance the pedestrian-friendly atmosphere:

Outdoor Patio Areas for All Buildings:

We are incorporating outdoor patio areas for each building within the development. These spaces are designed to provide a welcoming environment for pedestrians, fostering community interaction and engagement.

Benches at Every Building:

To further contribute to a pedestrian-friendly atmosphere, we have included benches at every building. These seating areas are strategically placed to offer resting spots and promote a sense of community within the development.

Walking Trail within the 50" Rural Parkway:

As part of our commitment to creating an active and enjoyable environment, we are proposing a walking trail within the 50" rural parkway. This trail not only encourages pedestrian movement but also integrates seamlessly with the natural surroundings, providing a unique and pleasant experience for residents and visitors.

By incorporating these elements into our development, we aim to exceed the minimum requirements outlined in the code. We believe that these amenities will not only fulfill the regulatory obligations but also contribute significantly to the overall quality of life and community well-being within the Planned Development District.

Connectivity

This proposed subject site is a great place to enhance connectivity between the existing Loxahatchee community and its surrounding neighborhoods including West Lake and Avenir. The uses proposed on this site, enhanced by thoughtful site design, would support the clear demand shown at this intersection and future 6 lane roadway.

See Exhibit 3 for TPA GIS Map of additional improvements being made blocks away from the site to increase pedestrian activity and safety through 10' shared use pathways, expanded 8' sidewalks, and speed tables. Some of which are part of the Indian Trail Improvement District. Currently, there is a lack of sidewalk connectivity and bicycle lanes on Northlake Blvd. The proposed development of the subject site will improve this gap in pedestrian infrastructure in this area. See Exhibit 4 for Palm Beach TPA GIS Pedestrian Facilities Map 2024. This would also assist the community in accessing and appreciating the natural resources available for enjoyment nearby, including Grassy Waters Preserve.

The addition of the proposed uses provides amenities that are lacking within the area yet are desirable in principles of Smart Growth in order to provide a mix of uses to the surrounding neighborhood residents as population, traffic, and development demands increase. As proposed uses are added, jobs are also opened up for neighboring residents.

ARTICLE 3.E.3.B.1. USABLE OPEN SPACE

As the agent for the proposed project, I would like to address the comment regarding the provision of a continuous, non-vehicular and pedestrian circulation system within and adjacent to the MUPD (Mixed-Use Planned Development).

Our project prioritizes a comprehensive pedestrian circulation system that seamlessly connects various elements, including uses, public entrances to buildings, recreation areas, amenities, usable open space, and other land improvements. Here are key features of our proposed non-vehicular and pedestrian circulation system:

1. Connectivity to Public Entrances:

- The circulation system ensures direct and accessible connections to public entrances of all buildings within the development. Pedestrian pathways are designed to enhance accessibility and convenience for residents and visitors.

2. Integration with Recreation Areas:

- Our plan includes pathways that connect to recreational areas, promoting an active and healthy lifestyle. This integration ensures that residents can easily access and enjoy the amenities provided within the development.

3. Walking Trail within the 50' Rural Parkway:

- A central component of our circulation system is the walking trail within the 50' rural parkway. This trail not only offers a pleasant pedestrian experience but also serves as a connecting link to adjacent lands.

Specifically, it connects to the lot to the east, which is a drainage pond owned and operated by Palm Beach County.

4. **Connection to Adjacent Uses:**

- Recognizing the importance of connectivity, our plan ensures that the non-vehicular circulation system extends beyond our development, linking seamlessly to adjacent lands. This approach fosters integration with the surrounding community and promotes a sense of cohesion.

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By incorporating these elements into our circulation system, we are confident that our project not only meets but exceeds the requirements for a continuous, non-vehicular and pedestrian circulation system as stipulated in the comment. We are committed to creating a well-connected and accessible environment that enhances the overall quality of life for those within and around the MUPD.

REQUEST

Request 1: Rezoning to MUPD

Request 2: Class A Conditional Use

The Applicant is requesting to rezone the subject property from Agricultural Residential (AR) to Multiple Use Planned Development (MUPD). Furthermore, the Applicant proposes to develop a Retail Gas & Fuel Sales facility, Medical Office on the site which requires Conditional Use Approval per Article 4 of the ULDC. Pursuant to Art.2. B.2.B when considering a DO application for a Rezoning to a PDD or a TDD, or a Conditional Use must take into consideration the following standards:

a. Consistency with the Plan

The proposed use or amendment is consistent with the purposes, Goals, Objectives, and Policies of the Plan, including standards for building and structural intensities and densities, and intensities of use. [Ord. 2007-001]

RESPONSE: The subject property is currently under review for a Future Land Use amendment from Rural Residential, 1 unit per 2.5 acres (RR-2.5) to Commercial Low (CL). To be consistent with the proposed CL FLU designation, the Applicant is requesting a Zoning Map Amendment (Rezoning) from the current Agricultural Residential (AR) zoning district to the Multiple Use Planned Development (MUPD) district. Commercial and Mixed-Use Development has sprouted up within the rural/exurban tier along the Northlake Boulevard and Seminole Pratt Whitney Road corridors with the major Mixed-Use Avenir development just over a mile away from the subject site.

Policy 1.3-f states: “the County shall prohibit new commercial future land use designations that do not have frontage on either 1) one collector and one arterial roadway...” According to Comprehensive Plan Map TE 3.1, Functional Classification of Roads, the site is situated with frontage on two Urban Minor Arterial; Northlake Boulevard and Seminole Pratt Whitney Road, therefore satisfying this policy.

Objective 2.2 states: “Palm Beach County shall ensure development is consistent with the County’s diverse character and Future Land Use designations. All public and private activities concerning the use, development and redevelopment of a property, and the provision of facilities and services shall be consistent with the property’s future land use designation...” The proposed rezoning of the site is consistent with this objective as it brings the site’s zoning designation into compatibility with its proposed CL FLU designation. Further, the proposed commercial development on the site will be compatible with the surrounding character of its location by providing a local option for food and fueling needs.

b. Consistency with the Code

The proposed use or amendment is not in conflict with any portion of this Code, and is consistent with the stated purpose and intent of this Code. [Ord. 2007-001] [Ord. 2018-002]

RESPONSE: The proposed rezoning is consistent with all applicable standards and provisions of the Palm Beach County Unified Land Development Code (ULDC) for use, layout, function, and general development characteristics. Below is a breakdown of the proposed rezoning’s consistency with Article 2, 3, 4, 5, 6, 7, 8 of the ULDC:

Article 2: The proposed rezoning is consistent with Article 2 as it pertains to the public hearing procedures. Complete applications have been filed for the rezoning from AR to MUPD.

Article 3: The proposed rezoning is consistent with Article 3 as it relates to Overlays and Zoning Districts, specifically:

The Applicant is proposing the property’s zoning to be amended from AR to MUPD. According to Art.3. E.3.A.1, the purpose and intent of the MUPD zoning district is “to provide for the efficient use of land by the integration of multiple uses, or large single uses, within a unified development. The intent of an MUPD is to provide opportunities for enlightened and imaginative approaches to community planning and site design...” The proposed development will be consistent with the purpose and intent of the MUPD zoning district. The recently approved Avenir planned development just over 1 mile east of the subject property will result in significantly increased demand for various commercial uses. Therefore, the MUPD zoning

district will allow for the greatest possible use of the site and will result in creative and imaginative approaches to the planning of the site to best address the demands and character of the surrounding area.

The site is located within the Acreage Neighborhood Plan study area which was first conducted in 1995. The proposed rezoning and conditional use request are consistent with the goals and objectives of this study. The main objective of the Acreage Neighborhood Plan is to promote the preservation of the Acreage a primarily rural residential land use pattern. The subject requests pertain to a site directly fronting on two major thoroughfares, Northlake Boulevard and Seminole Pratt Whitney Road which make it less than an ideal location for large lot single family residential development. Furthermore, the proposed development is subject to the rural-parkway landscape buffer requirements along Northlake Boulevard, a significant buffer of landscaping between the development and the roadways it fronts on, resulting in minimal visual impact on the surrounding area. Finally, it is understood in the Acreage Neighborhood Plan that some specific locations may be suitable for locally serving non-residential development. The subject requests would result in the construction of a gas station with a convenience store, a Medical Office, and Retail Sales in an area with limited access to resources. Only one other similar development exists within an approximately 6-mile radius of the subject property. Therefore, the proposed development is consistent with the goals and objectives of the Acreage Neighborhood Plan.

The subject property is also located within the Western Northlake Corridor Land Use Study (WNCLUS) area, first analyzed in 1998. This study was conducted to analyze the land use patterns of the western Northlake Boulevard corridor and make recommendations for how to plan for increasing urban development pressures. The main recommendation of the study was to form clear distinctions between planned urban and rural development areas. With the location of the subject site, the ROW updates on both Northlake Boulevard and Seminole Pratt Whitney Road, and the undeveloped vacant land just north of the site, it is believed this is the next commercial node within the western community. Furthermore, the section of the study regarding commercial development is not consistent with today's changed circumstances along the western Northlake Boulevard corridor. The study states that neighborhood commercial designations already existing would be able to handle the expected population increase through 2010, mainly since the area is primarily rural in nature. This, of course, does not consider the massive re-classification of land that occurred recently along Northlake Boulevard to the east with the Avenir planned development and the new city of Westlake just south, which share the character typical of an urban development area. The proposed gas station with convenience store, carwash, and food service on the subject property are rather small in comparison and would mainly serve as a small commercial node to supplement the significant increase in demand for community resources that the new development and ever-increasing population of the western communities will bring to the western Northlake Boulevard corridor.

Therefore, the proposed development is consistent with the development trends within the WNCLUS area.

The proposed use meets the intent of ULDC Table 3.D.1.A, Property Development Regulations, in that the site plan:

- Meets the minimum lot size of 3 acres with 5.93 acres provided minimum width and frontage of 200 feet (646.14 feet of frontage on Northlake Boulevard), and minimum depth of 200 feet (389.29 feet of depth provided) for MUPD zoning district;
- Does not exceed the maximum building coverage of 25% for MUPD (5% building coverage provided).
- Does not exceed the maximum FAR of .10 for MUPD with CL FLU in Exurban Tier (.05 FAR provided);
- Meets the minimum setbacks for MUPD with CL FLU as follows:
 - Front: 25 feet (108.3 feet provided);
 - Side: 30 feet (42.6 feet provided);
 - Side Street: 25 feet (177 feet provided); and
 - Rear: 30 feet (95 feet provided).

Article 4: The proposed rezoning is consistent with Article 4 as it relates to use regulations. Specifically, as it relates to Art.4. B.2.C.16, Gas and Fuel Sales, Retail and Art.4. B.2.C.35, Retail Sales. Below are the applicable portions of these sections:

16. Gas and Fuel Sales, Retail

a. Definition

An establishment engaged in the sale of gasoline or motor fuels to the general public.

e. Location Criteria

1) Intersection Criteria

A maximum of two Retail Gas and Fuel Sales establishments may be allowed at an intersection pursuant to Art. 5.E.2.B, Intersection Criteria. **Complies. The proposed Gas and Fuel Sales establishment is the only one at the intersection.**

2) Separation Criteria

A Retail Gas and Fuel Sales establishment shall be separated from any other Retail Gas and Fuel Sales establishment pursuant to Art. 5.E.2.C.1, Separation Criteria. **Complies. The proposed Gas and**

Fuel Station is located approximately 6 miles from the nearest Gas and Fuel Sales establishment.

3) Major Intersection Criteria for CL FLU in U/S Tier

Retail Gas and Fuel Sales with a CL FLU designation shall comply with Art. 5.E.1, Major Intersection Criteria. **Complies. The intersection of Northlake Boulevard and Coconut Boulevard meets the criteria for a major intersection.**

4) CL FLU in Rural, Exurban, Glades and Agriculture Reserve Tiers
Retail Gas and Fuel Sales shall be located within 1,000 feet of the intersection of one Collector and Arterial Street, or two Arterial Streets, as listed in the Florida Department of Transportation (FDOT) PBC Federal Functional Classification Table. **Complies. The site has a hard corner at the intersection of Northlake Boulevard (Arterial Street) and Seminole Pratt Whitney Road (Arterial Street).**

5) WCRA Overlay

Retail Gas and Fuel Sales is prohibited in the NR, NRM, NG and NC Sub-areas, per Table 3.B.14.E, WCRAO Sub-area Use Regulations. **Not applicable. The site is not located within the WCRAO.**

6) Exceptions

a) I-95 Interchanges

A parcel with a Commercial High (CH) future land use designation within 0.50 miles of an I-95 Interchange shall be exempt from the Location Criteria of 1) Intersection Criteria, and 2) Separation Criteria, listed above. **Not applicable. The site is not located within 0.50 miles of an I-95 interchange.**

b) MUPD

Retail Gas and Fuel Sales located within an MUPD may be exempt from the Location Criteria for 1) Intersection Criteria, and 2) Separation Criteria, where in compliance with the following:

(1) Required Perimeter Landscape Buffers, where located between all Retail Gas and Fuel Sales use areas, including ingress/egress, and any R-O-W or parcel of land with a residential FLU designation or use, unless obstructed from view by other existing structures; and, **Not applicable. Site meets the standard location criteria for the proposed use.**

(2) Direct access from any perimeter R-O-W abutting the MUPD shall be prohibited. All access shall be from entrances established for the overall MUPD, and comply with minimum standards for ingress/egress, stacking, turn-lanes, and pedestrian connectivity. **Not applicable. Site meets standard location criteria for the proposed use.**

7. Convenience Store

a. Definition

An establishment serving a limited market area and engaged in the retail sale of food, beverages, and other frequently or recurrently needed items for household use or consumption.

b. Floor Area

A maximum of 7,000 square feet of GFA. **Complies. The convenience store only 4,853 SF.**

c. Overlay – WCRAO

Convenience Store is prohibited in the NR, NRM, NG, and NC Sub-areas per Table 3.B.14.E, WCRAO Sub-area Use Regulations. **Not applicable. The site is not located within the WCRAO.**

e. Collocated Use

A Convenience Store that is collocated with a Retail Gas and Fuel Sales shall be reviewed and approved concurrently. **Complies. The request is requested collocated use with the Retail Gas and Fuel Sales.**

23. Medical or Dental Office

a. Definition

An establishment where patients, who are not lodged overnight, are admitted for examination, elective surgical care, immediate but not emergent care, or treatment by persons practicing any form of healing or health-building services whether such persons be medical doctors, chiropractors, osteopaths, podiatrists, naturopaths, optometrists, dentists, or any such profession, the practice of which is lawful in the State of Florida.

b. Typical Uses

A Medical or Dental Office may include, but is not limited to, an Ambulatory Surgical Center or Urgent Care Center.

c. INST FLU Designation

A Medical or Dental Office may be allowed subject to DRO approval, within the boundaries of the following five Site Specific FLUA amendments:

1) SCA 2005-027, Linton/Jog Institutional, Ordinance No. 2006-005;
2) SCA 2008-015, Jog/Joe DeLong Institutional, Ordinance No. 2008-005;
3) SCA 2009-002, Atlantic/Sims Medical Office, Ordinance No. 2009-008; 4) LGA 2010-014, Suess Institutional (Southern & Seminole Pratt and Whitney), Ordinance No. 2010-031; and, 5) LGA 2012-002, AGR Boynton Beach Institutional, Ordinance No. 2012-017. **Not applicable. The site is not located within the INST FLU Designation.**

d. Zoning Districts – CN, CLO, and CHO Permitted by Right when not exceeding 3,000 square feet of GFA. [Ord. 2018-018] [Ord. 2023-011] **Not applicable. The site is not located within the Zoning Districts – CN, CLO, and CHO.**

33. Retail Sales

a. Definition An establishment providing general retail sales or rental of goods but excluding those uses specifically classified as another Use Type.

b. Typical Uses Retail Sales may include but are not limited to clothing stores, bookstores, business machine sales, food and grocery stores, window tinting, marine supply sales (excluding boat sales), auto accessories and parts, building supplies and home improvement products, monument sales, printing and copying, pharmacies, and medical marijuana dispensing facilities. Uses shall also include the sale of bulky goods such as household goods, lawn mowers, and mopeds. [Ord. 2017- 028]. **The proposed uses are consistent with this definition.**

Article 5: The proposed rezoning is consistent with Article 5 Supplementary Use Standards, specifically as follows:

- Per ULDC Art.5.B.1.A.8 a dumpster and recycling area has been provided with property enclosure and gates.
- Pursuant to ULDC Art.5. B.1.A.17, Bike Racks, the project is required to provide one (1) bike rack and one (1) bike rack has been provided;
- Pursuant to ULDC Art.5. C.1.E.1.a., Method I – Projects Requiring BCC Approval, the project will provide all the application contents listed in ULDC Art.5. C.1.F, Application Contents, and in ULDC Art.5. C.1.G, Visual Impact Analysis, prior to final Development Review Officer (DRO) site plan approval. The Applicant has elected to submit architecture at time of BCC approval.

Article 6: The proposed Rezoning is consistent with Article 6 Parking, specifically the following:

- Parking regulations for the MUPD district refers to Article 3.E.1.C.2.h as follows:

- Minimum 1 space per 250 SF of GFA @ **15,295 SF = 61 spaces**

Required: 61 spaces

Provided: 85 spaces

- Max 1 space per 166.66 SF of GFA @ **15,295 SF = 92 spaces**

Required: 92 spaces

Provided: 85 spaces

The proposed development provides 85 parking spaces, which exceeds the ULDC minimum requirement of 61 spaces based on the total gross floor area (GFA) of 15,295 sq. ft. This modest increase remains within the maximum allowable parking of 92 spaces (1 space per 166.66 sq. ft. of GFA) per ULDC Art. 6, Parking, Loading, and Circulation.

The justification for this overparking is based on the following key considerations:

1. Mixed-Use Intensity and Operational Demand

The project includes a combination of uses — a gas station with convenience store, medical office, and retail sales — all of which are vehicular-centric and demand higher turnover parking. Medical offices and retail uses, in particular, tend to generate short- to medium-duration stays, increasing the need for accessible parking during peak times. Shared parking between these uses supports operational flexibility without exceeding code thresholds.

2. Anticipated High Traffic Volume at a Strategic Intersection

Located at the intersection of two arterial roads (Northlake Blvd. and Seminole Pratt Whitney Rd.), the site will experience significant daily pass-by traffic. Additional parking helps absorb these volumes, avoiding congestion or spillover onto adjacent parcels or rights-of-way. The nearby road expansions and traffic projections confirm sustained growth, which will increase vehicle visits.

3. Rural Context and Limited Transit Access

The site is in the Acreage/Loxahatchee exurban area, where transit options are minimal to non-existent and nearly all customers and employees will arrive by personal vehicle. As noted in the justification statement, Palm Tran does not currently serve this location.

Unlike urbanized areas, shared mobility or pedestrian access is not yet sufficient to justify reduced parking demand.

4. Enhanced Circulation and Pedestrian Experience

The additional parking spaces are distributed in a manner that enhances pedestrian safety, circulation, and buffering, especially for ADA access and safe crossings between uses. Parking is strategically located on the sides and rear of buildings to preserve the site's streetscape and visual quality.

5. Futureproofing for Demand and Turnover

The proximity to growing communities such as Avenir and Westlake, along with limited comparable commercial facilities within a 6-mile radius, means this development will serve as a primary convenience node. Additional parking ensures the site can accommodate future demand without requiring redevelopment or variance.

6. Code Compliance and Design Quality

The proposed parking count remains within the ULDC maximum standard of 6 spaces per 1,000 sq. ft. GFA and complies with all related requirements, including ADA access, loading, and landscaping. It is a proactive design measure rather than a deviation, ensuring the site operates efficiently without burdening adjacent infrastructure or the community.

- Pursuant to ULDC Table 6.A.1.D, Parking Space for Persons Who Have Disabilities, the proposed amendment meets the required spaces for persons who have disabilities as follows: **Required 3 ADA spaces, 4 ADA spaces with access to building and ROW.**
- Pursuant to ULDC Table 6.E.4.A – Dimensions, a loading space is not required for any use type under 10,000 of GFA. Therefore, one loading space is required and two are being provided.
- Pursuant to ULDC 6.E.3.C- Buildings A will utilize drive aisles in lieu of providing a designated loading space during nonbusiness hours.

Article 7: The proposed uses are consistent with Article 7 Landscaping, specifically the following:

- Per ULDC Table 7.C.2.A – Width of R-O-W Buffer, the site is required to have a 20-foot-wide ROW landscape buffer along the site's north and west

property lines which have frontage on Northlake Boulevard and Seminole Pratt Whitney Road.

Article 8: The proposed rezoning is consistent with Article 8 Signage, specifically the following:

- Per ULDC Art.8. E.3.A, Purpose and Intent, a Preliminary Master Sign Program has been prepared and submitted with this application to provide a unified record of signs and to promote coordinated signage for the development subject to DRO approval;
- Per Table 8.G.1.A – Wall Sign Standards, the project is permitted 0.5 SF of wall signage along any one side of the building and 0.5 SF along any of the remaining sides or 0.25 SF for walls adjacent to residential zoning or use with a minimum 24 SF sign per tenant space.
- Per Table 8.G.2.A – Freestanding Sign Standards the project is restricted to providing 1 sign per frontage, resulting in a maximum of 3 signs on the overall site. Each of these signs may have a maximum sign face area of 0.5 SF per linear foot of frontage with no more than 100 SF. of sign face area per sign. The proposed project complies with the following:

1. Northlake Boulevard: Max. 100 SF
2. Seminole Pratt Whitney Road: Max. 100 SF

c. Compatibility with Surrounding Uses

The proposed use or amendment is compatible and generally consistent with the uses and character of the land surrounding and in the vicinity of the land proposed for development. [Ord. 2007-001]

RESPONSE: The proposed use is compatible and generally consistent with the uses and character of the land surrounding and in the vicinity of the land proposed for development. The proposed development will consist of general retail and gas station and convenience store uses. Over time, the properties along the south side of Northlake Boulevard in the region known as “The Acreage” have been changing from residential zoning and FLU designations to non-residential designations as demand for these uses increases. Furthermore, since the adoption of the 1989 Comprehensive Plan, the area surrounding the subject property has changed from being planned as primarily rural residential, to being planned as an exurban community. The area just east of the subject property on Northlake Boulevard has since been annexed into the City of Palm Beach Gardens and is now being developed with a planned development of substantial scale, resulting in a significant shift in the character of the surrounding area. Thus, the

proposed rezoning of the property is compatible with surrounding uses as it is following a significant increase in projected demand for non-residential uses in the surrounding area.

The next nearest development with a gas station is more than six miles from the subject property. As a result, fuel sales in particular are heavily gouged at this existing commercial plaza. The intent of the proposed development and subject rezoning is to meet the demand that already exists in this area for fuel sales and food uses. The additional residential development occurring to the east and south of the site in the Avenir planned development (3,900 homes) and Westlake (5,000 homes) is only expected to exacerbate the already unmitigated demand for these uses, especially considering the site's location directly on Northlake. Therefore, the proposed development and subject rezoning is compatible with surrounding land uses.

d. Design Minimizes Adverse Impact

The design of the proposed use minimizes adverse effects, including visual impact and intensity of the proposed use on adjacent lands.

RESPONSE: The design of the site minimizes adverse impacts to surrounding land uses. The site is surrounded by rights-of-way on two sides which increases the effective clear space between uses. Along Northlake Boulevard, a 50 foot wide Rural Parkway Easement which includes the required 20-foot ROW landscape buffer is proposed. Along the site's western frontage along Seminole Pratt Whitney Road the required 20-foot-wide ROW landscape buffer and various easements is proposed. Along the site's south property line a 20-foot-wide Type 3 Incompatibility Landscape Buffer with an opaque 6' wall is proposed. Finally, for the eastern property line, a 15-foot wide, Type 2 Incompatibility Landscape Buffer is proposed.

Beyond the landscape buffers, the site's design incorporates careful consideration of the intensity of proposed uses. The layout strategically positions higher intensity uses away from sensitive boundaries, reducing potential noise, light, and traffic impacts on adjacent lands. Additionally, building heights and massing have been adjusted to maintain compatibility with the surrounding area, and operational hours are designed to minimize disturbance. These measures collectively ensure that the proposed development harmonizes with its surroundings, preserving the character and usability of adjacent lands.

e. Design Minimizes Environmental Impact

The proposed use and design minimize environmental impacts, including, but not limited to, water, air, stormwater management, wildlife, vegetation, wetlands, and the natural functioning of the environment. [Ord. 2007-001]

RESPONSE: The site design minimizes environmental impact, including, but not limited to, water, air, stormwater management, wildlife, vegetation, wetlands and the natural functioning of the environment. The applicant is dedicated to working with Palm Beach County ERM to preserve environmentally sensitive areas within the subject site.

f. Development Patterns

The proposed use or amendment will result in a logical, orderly, and timely development pattern. [Ord. 2007-001]

RESPONSE: The subject property is currently zoned Agricultural Residential (AR), with the intention that the site would be developed as residential. However, Northlake Boulevard and Seminole Pratt Whitney Road is now a major intersection in accordance with TE 3.1, Functional Classification of Roads and is no longer appropriate or safe for a residential development. The proposed Rezoning and development of the subject property follows a logical, orderly and timely development that will be consistent with the Comprehensive Plan and ULDC. A significant increase in demand for gas stations and food services is expected in the near future as residential development in the immediate vicinity of the site has increased rapidly in recent years. Furthermore, the location of the subject property along Northlake Boulevard and Seminole Pratt Whitney Road makes it ideal for commercial development.

g. Adequate Public Facilities

The extent to which the proposed use complies with Art. 2.F, Concurrency (Adequate Public Facility Standards). [Ord. 2007-001]

RESPONSE: There would not be adverse impacts on public facilities related to the proposed Rezoning.

Traffic: The proposed project meets the County's Traffic Performance Standards. See Traffic Generation Statement prepared by Kimley-Horn.

Mass Transit: Palm Tran does not service the immediate vicinity of the site.

Potable Water & Wastewater: Water and sewer is available to site and Palm Beach County has provided a letter confirming capacities.

Drainage: The proposed development at the southeast corner of Northlake Boulevard and Seminole Pratt Whitney Road has been designed to fully comply with all applicable drainage and stormwater management standards

outlined by Palm Beach County, the South Florida Water Management District (SFWMD), and the Indian Trail Improvement District (ITID).

The 5.92± acre site currently lacks any existing drainage infrastructure and lies within ITID's Upper M-1 Basin, though it is not directly adjacent to their facilities. The site naturally drains from northwest to southeast, and the ongoing reconstruction of adjacent roadways ensures that offsite runoff is now captured internally, thus minimizing offsite drainage across the property.

Key drainage design elements include:

Stormwater Storage and Pretreatment:

The site will be engineered to manage and store stormwater generated by a 25-year, 3-day storm event entirely onsite. The design incorporates a combination of exfiltration trenches, underground storage systems, grass swales, and storm piping to handle both quality and quantity requirements. The system will include a controlled, minimal discharge through a bleeder orifice to a designated legal outfall.

Connection to Regional System:

Legal positive outfall will be provided via connection to a proposed Palm Beach County stormwater pond located immediately east of the site. If, during the permitting process, the ownership of this pond transfers to ITID, the connection will instead be made directly through ITID with proper permitting adjustments.

Water Quality Standards:

The project will comply with SFWMD and County requirements, including providing 0.5 inches of dry pre-treatment for water quality, and adhering to volumetric criteria for wet and dry detention or retention. These facilities ensure pollutant removal before discharge and protect downstream systems and the aquifer.

Compensating Storage Requirement (ITID):

As required under ITID policy for commercial projects within the M-1 basin, the site will provide equal compensating storage at an elevation of 22.1' NGVD (20.58' NAVD), utilizing underground storage systems and dry areas. If any off-site parcel is needed to meet this requirement, it will be placed under restrictive covenant or donated to ITID to guarantee long-term compliance.

Flood Protection:

Finished floor elevations and pavement grades will meet or exceed FEMA minimums and County standards. A perimeter berm will be constructed to

contain the 25-year, 3-day storm volume. Pavement elevations will ensure through-lane accessibility during flood events.

h. Changed Conditions or Circumstances

There are demonstrated changed site conditions or circumstances, provided by the Applicant’s Justification Statement that necessitate a modification. [Ord. 2007-001] [Ord. 2018-002]

RESPONSE: The recent approval and commencement of construction on the Avenir planned development, located just east of the subject property within the Palm Beach Gardens municipal boundary constitutes a significant change in conditions and circumstances. This development, in combination with persistent residential development in the residential areas to the south and east of the site, results in a significant increase in demand for retail and gas station services in the near future. With more residents living in the immediate area, and the only retail and gas station uses being located at a highly isolated location six miles to the east of the subject site on Northlake Boulevard, it is expected that the proposed retail and gas station development would be supported with the increase in demand. Furthermore, the above mentioned Avenir planned development and Westlake directly conflicts with what the 1989 Palm Beach County Comprehensive Plan originally envisioned for the western Northlake Boulevard corridor surrounding the subject property. At that time, it was expected that rural land use would be supported, with densities no greater than one unit per 5 acres, and in some cases, one unit per 20 acres being supported by this plan. Since then, urban and exurban development has continued to move west of what was originally envisioned. Therefore, the subject rezoning is reasonable given these changed conditions and circumstances.

CONCLUSION

The owner and the development team are available to answer any questions staff might have and provide necessary information to supplement the information provided in the submittal. Please do not hesitate to contact Jeanne Ducharme of Cotleur & Hearing 561.747.6336 ext. 105 if additional information is required.

EXHIBITS

SECTION 2. Section 6 as set forth in the Agreement is hereby amended to hereafter read as follows:

SECTION 6. Commitment by each Local Government to Consider the Findings of the Western Northlake Boulevard Corridor Land Use Study and to Provide the ability to Update same.

The County and the Cities hereby approve of the Western Northlake Corridor Land Use Study as a policy and growth management guide and an expression of the desires of the community in the review of development proposals and plan amendments, and encourage intergovernmental cooperation and coordination through the implementation of the study findings. The County and the Cities encourage updates of the Study when determined to be necessary by the respective planning directors.

Exhibit 1.
Resolution 2010-1754, Section 2.

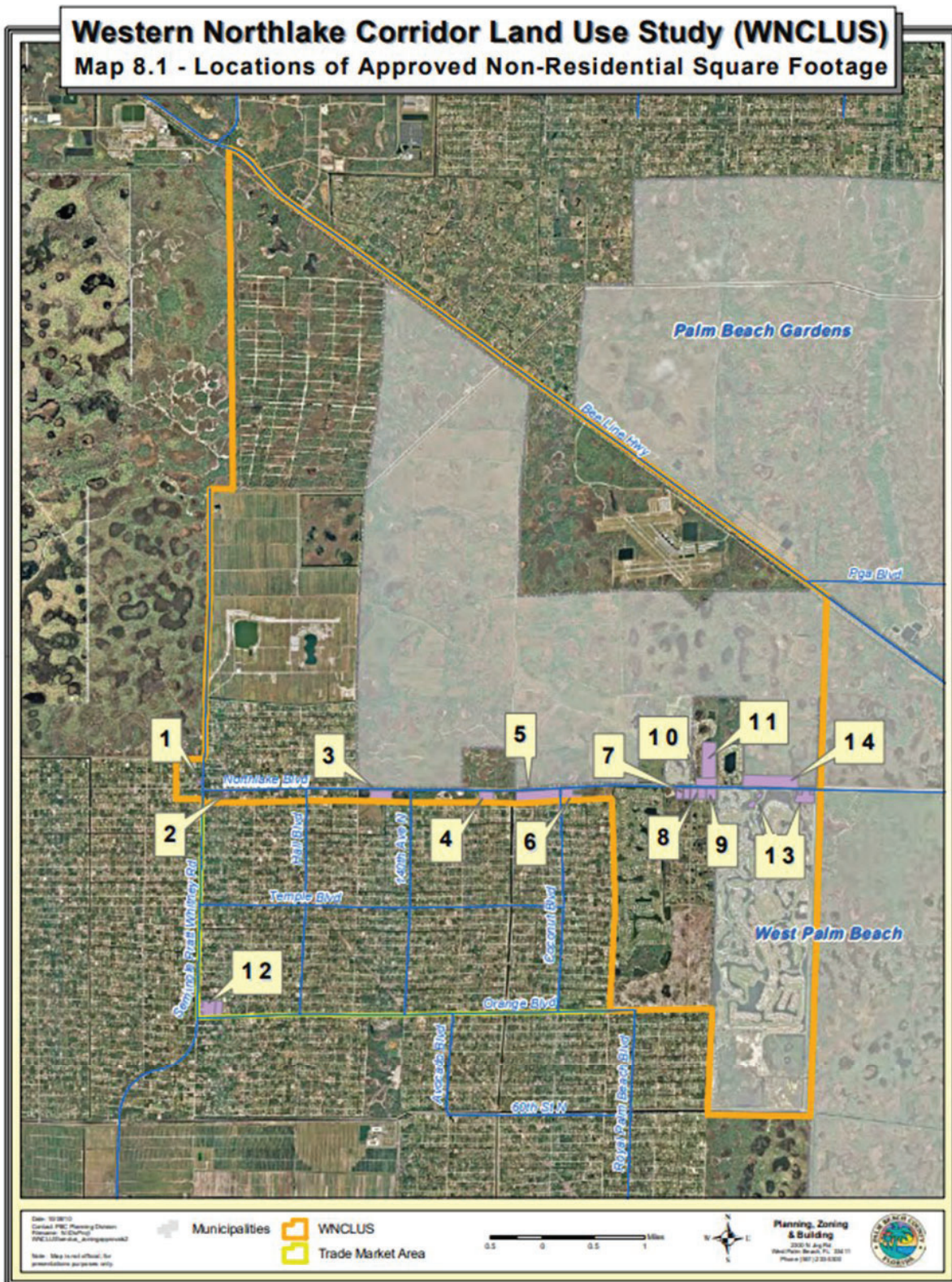
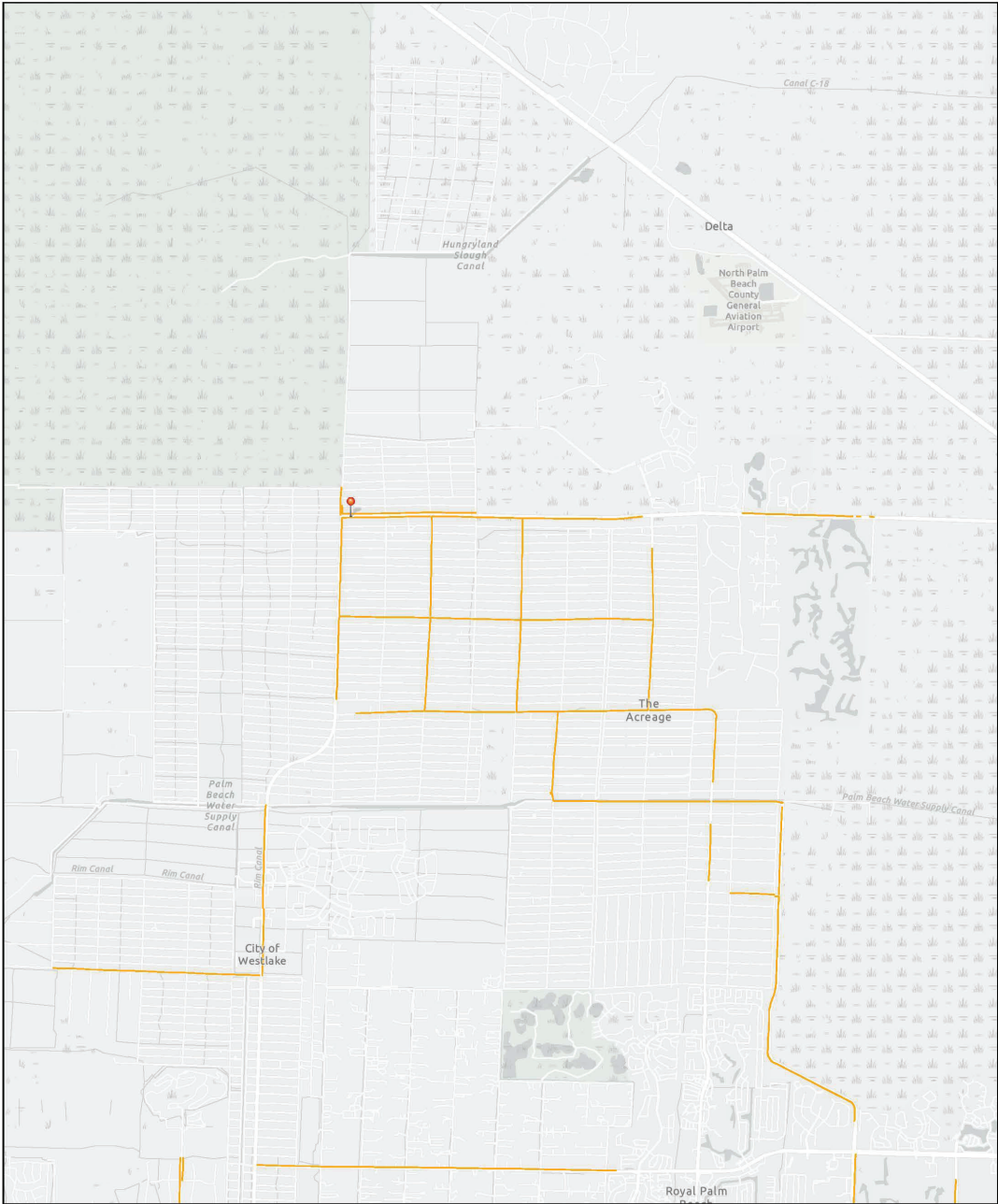


Exhibit 2.
 Map 8.1 shows locations of Approved Non-Residential Square Footage from 2010.
 West Northlake Corr-1. E.4 WNCLUS for more details.

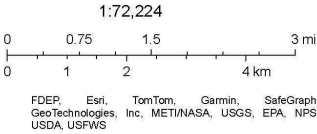
Palm Beach TPA, Pedestrian Priority Gaps



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Pedestrian Priority Gaps

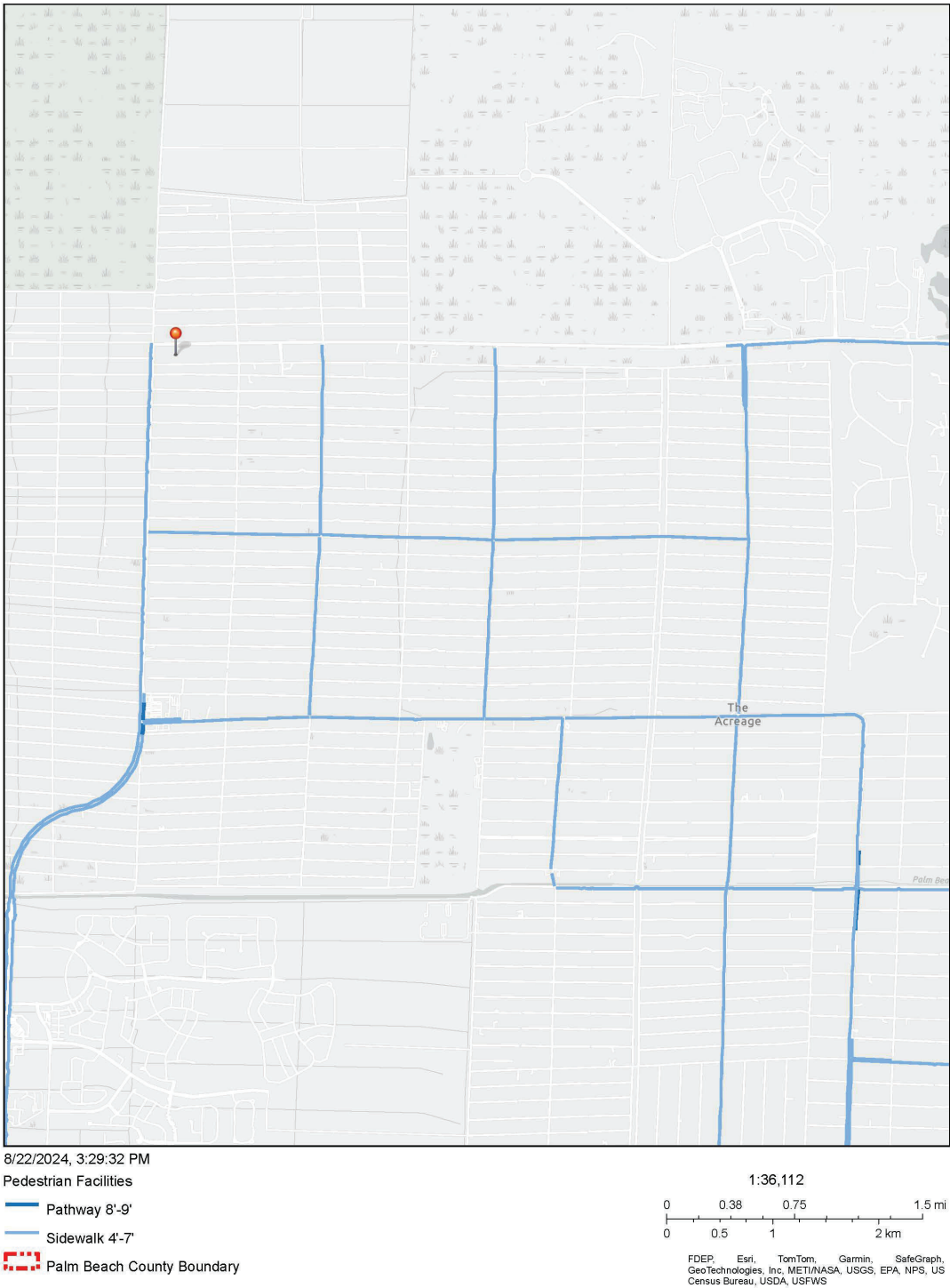
- Tier 2
- Palm Beach County Boundary



Palm Beach TPA, Public TPA Mapping Application
FDEP, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc., METI/NASA, USGS, EPA, NPS, USDA, USFWS | Palm Beach County Engineering & Public Works | Palm Beach TPA, Palm Tran | Acknowledgment of

Exhibit 3.
Palm Beach TPA GIS Map- Pedestrian Priority Gaps

Palm Beach TPA, Pedestrian Facilities



Palm Beach TPA, Public TPA Mapping Application
FDEP, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, MET/NASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS | Palm Beach County Engineering & Public Works | Palm Beach TPA, Palm Tran |

Exhibit 4.
Palm Beach TPA GIS Map- Pedestrian Facilities 2024

PBC Constrained Roadways at Lower Level of Service

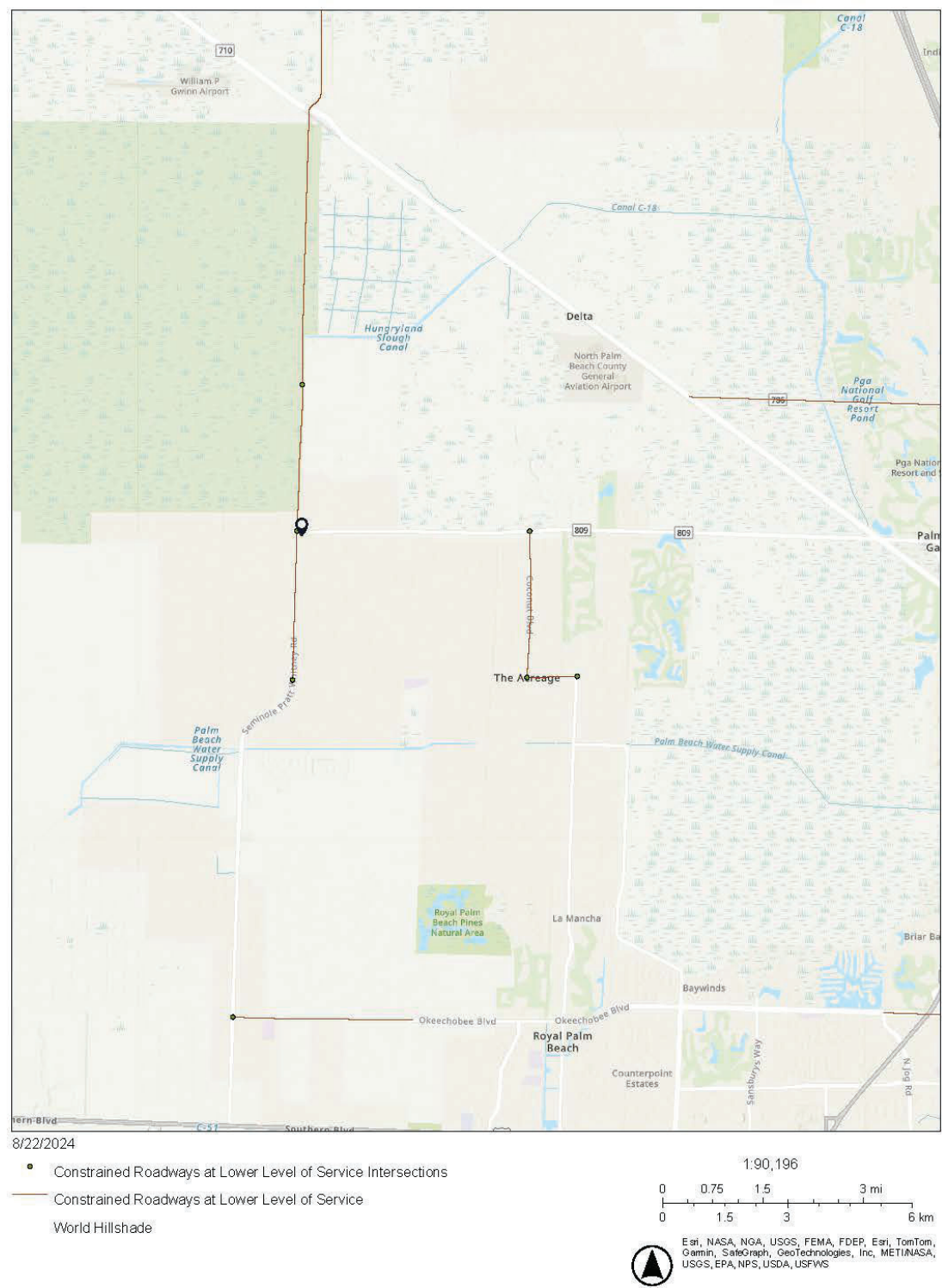
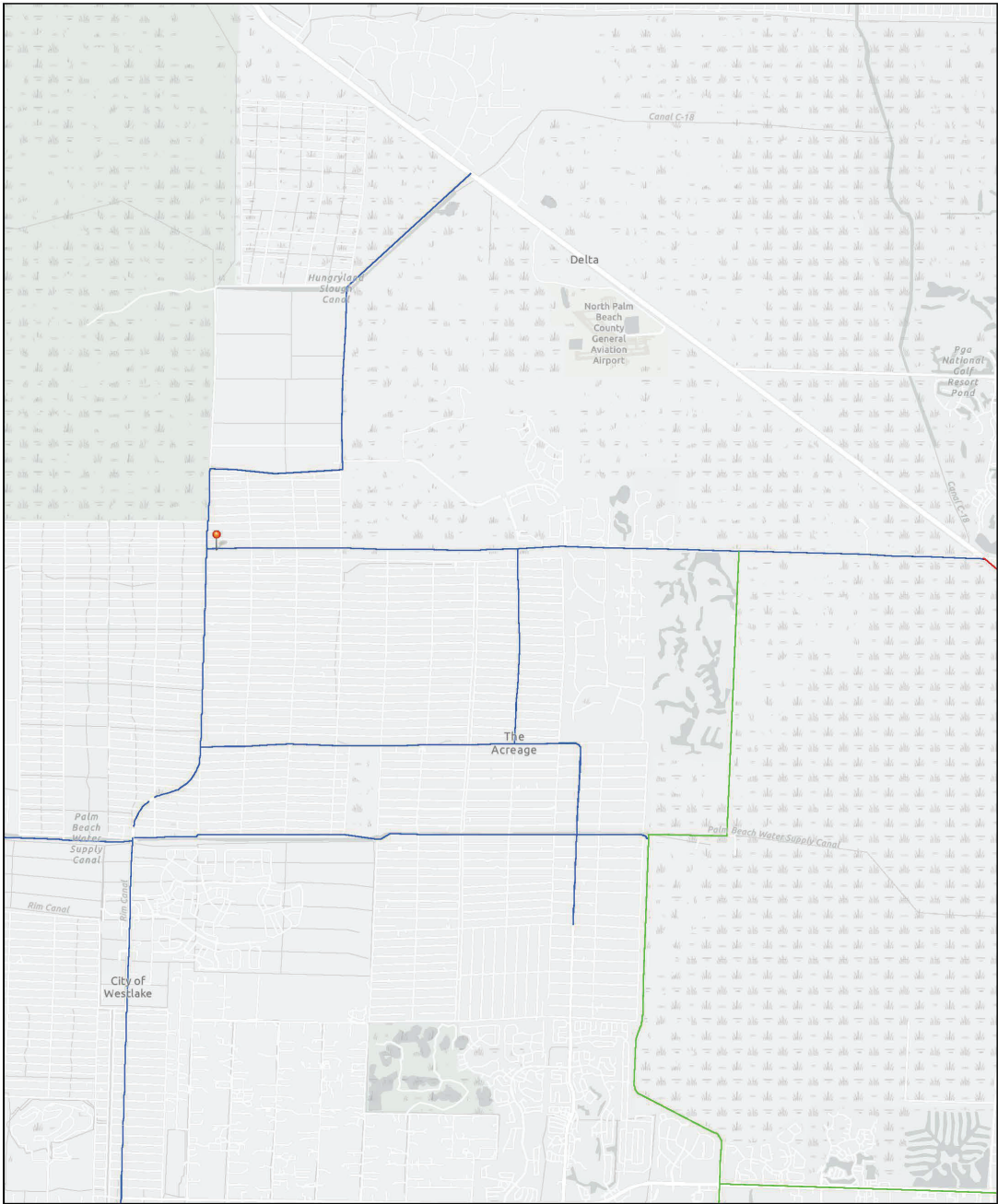


Exhibit 5.
PBC GIS Map- Constrained roadways at lower level of service.

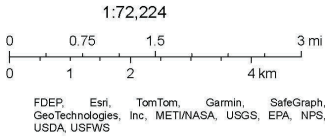
Palm Beach TPA, LRTP 2045 Projects



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LRTP 2045 Projects

- County
- FDOT
- TPA
- Palm Beach County Boundary



Palm Beach TPA, Public TPA Mapping Application
FDEP, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, USDA, USFWS | Palm Beach County Engineering & Public Works | Palm Beach TPA, Palm Tran | Acknowledgment of

Exhibit 6.
Palm Beach TPA GIS- 2045 Roadway Projects



Cotleur &
Hearing

LC26000535

LAND PLANNING + LANDSCAPE ARCHITECTURE + TRANSPORTATION

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Dear Palm Beach County Board of County Commissioners,

On behalf of the Applicant, we would like to take the opportunity to respond to some of the objections that have been sent to the Board of County Commissioners regarding the West End Crossing's project. While we understand the concerns of the neighbors, we have worked to implement changes to the site plan, in coordination with County staff, to address those concerns. We have also taken into account comments made by the Board of County Commissioners during the comprehensive plan transmission hearing.

The first issue raised is compliance with the Acreage Neighborhood Plan (ANP). The ANP is based on data and conditions from over 17 years ago, with its last amendment occurring in 2008. Since that time, The Acreage and surrounding areas have experienced significant demographic, economic, and infrastructure changes that must be considered in evaluating the proposed development. In considering relevant and appropriate data and analysis in comprehensive planning, and in appropriate uses, densities, and intensities, it is always important planning to consider current conditions and changes that have occurred since the studies that were done in implementing current policies.

When the ANP was last updated, The Acreage was a predominantly rural, low-density community with limited commercial services and infrastructure. The 2000 Census recorded fewer than 40,000 residents in the broader Loxahatchee/Acreage area. As of the 2020 Census, that number has grown to over 60,000 residents—a more than 50% increase in population. This population growth reflects a shift in the character and needs of the community, including increased demand for nearby services and more efficient mobility patterns.

In addition to population growth within The Acreage, the surrounding areas have evolved significantly. New residential developments have been built throughout the western communities, and significant regional investments have been made in roads, schools, and services. Seminole Pratt Whitney Road has been widened and improved, and new residential subdivisions, schools, and regional infrastructure—such as the expansion of Westlake and Palm Beach State College's plans—have created a more suburban framework within and adjacent to The Acreage. While we understand that some residents do not want or appreciate this, these are facts that must be considered.

The ANP was originally designed to guide development in a largely undeveloped area. As the area has matured, so have the needs of its residents. Limited access to everyday services, such as fuel stations, convenience retail, and neighborhood-serving commercial uses, has resulted in longer travel times, increased vehicle miles traveled, and more strain on regional roadways. This proposal seeks to address those current needs in a way that remains consistent with the ANP's original intent: to support low intensity, appropriately scaled commercial development that serves local residents without encouraging sprawl. The colocation of services with residential development at a scale such as exists in and around The Acreage is the very opposite of sprawl – the residential uses came first, and the commercial is proposed to support it.

Therefore, the ANP must be viewed in the context of current data and evolving community conditions. The proposed development responds to today's realities, not those from nearly two decades ago, by

offering a neighborhood-scale, accessible commercial node that meets the everyday needs of a significantly larger and more mobile population.

Some of the significant changes adjacent to the Acreage were outside the control of the County, but nevertheless impacted the area. These changes are recognized by the County, which is implementing a major intersection adjacent to the subject site to accommodate existing and future traffic considerations, none of which was contemplated by the ANP.

The subject property is an appropriate location for commercial use within the acreage and is of a size that can accommodate the proposed uses, while providing for enhanced buffering and separations. The scale and uses—convenience store with gas, medical office, and limited retail—are designed specifically to meet local needs rather than attract external traffic. The FAR of 0.05, enhanced by a 50-foot rural parkway, extensive native landscaping, and high-quality architectural standards, ensures the project remains in harmony with the rural character of The Acreage while providing critical everyday services close to home. This allows for a reduction in vehicle miles traveled, capture of existing trips on the roadway network, and a more efficient use of land that reflects the current realities of the area.

The stated concern of the objections we have seen relates to the fueling station and convenience store. The ANP, as noted in the objections, recognized the need for these uses, albeit at a smaller scale given the then much less intense development pattern in the area. The use, therefore, is not inconsistent with what was contemplated, and the scale of the use is consistent with current conditions, traffic patterns, and the increased residential population from that which was contemplated when the ANP was prepared. The design also accommodates current updated information on safety and permitting requirements, such as ADA accessibility and modern expectations for storm protection, traffic efficiency, and public health and safety. The fueling systems incorporate state-of-the-art environmental safeguards that exceed federal and state requirements, including secondary containment measures and groundwater protection technology, mitigating any even potential risks to local water resources.

Traffic and roadway safety were carefully considered in site planning. The intersection of Northlake Boulevard and Seminole Pratt Whitney Road is recognized by Palm Beach County as a key arterial node and is already undergoing significant infrastructure improvements (Northlake to six lanes; Seminole Pratt to six). Rather than contributing to a strip commercial pattern, our proposal consolidates development into a single, coordinated Multiple Use Planned Development (MUPD) with two access points, turn lanes, and design features that meet or exceed County engineering standards. The site includes over 600 feet of frontage and deep setbacks to facilitate safe vehicular access and circulation. The project generates fewer trips than the threshold requiring a full Traffic Impact Analysis.

As detailed in the SPCC Plan prepared by Advantage Environmental Consultants, the proposed fueling infrastructure at PMG #6715 includes robust environmental protection measures that exceed local and state regulatory requirements. The design specifically accounts for sensitive environmental receptors such as nearby wells and incorporates multiple layers of spill prevention and response safeguards. All underground storage tanks (USTs) are double walled with electronic leak detection systems, ensuring secondary containment. Additionally, tank filling operations are continuously monitored and utilize overfill protection, grounding, and DOT-compliant procedures to prevent accidents. The site undergoes daily, monthly, and annual inspections, and all personnel receive annual discharge prevention training, as documented in the SPCC Plan. These systems and procedures have been certified and reviewed by



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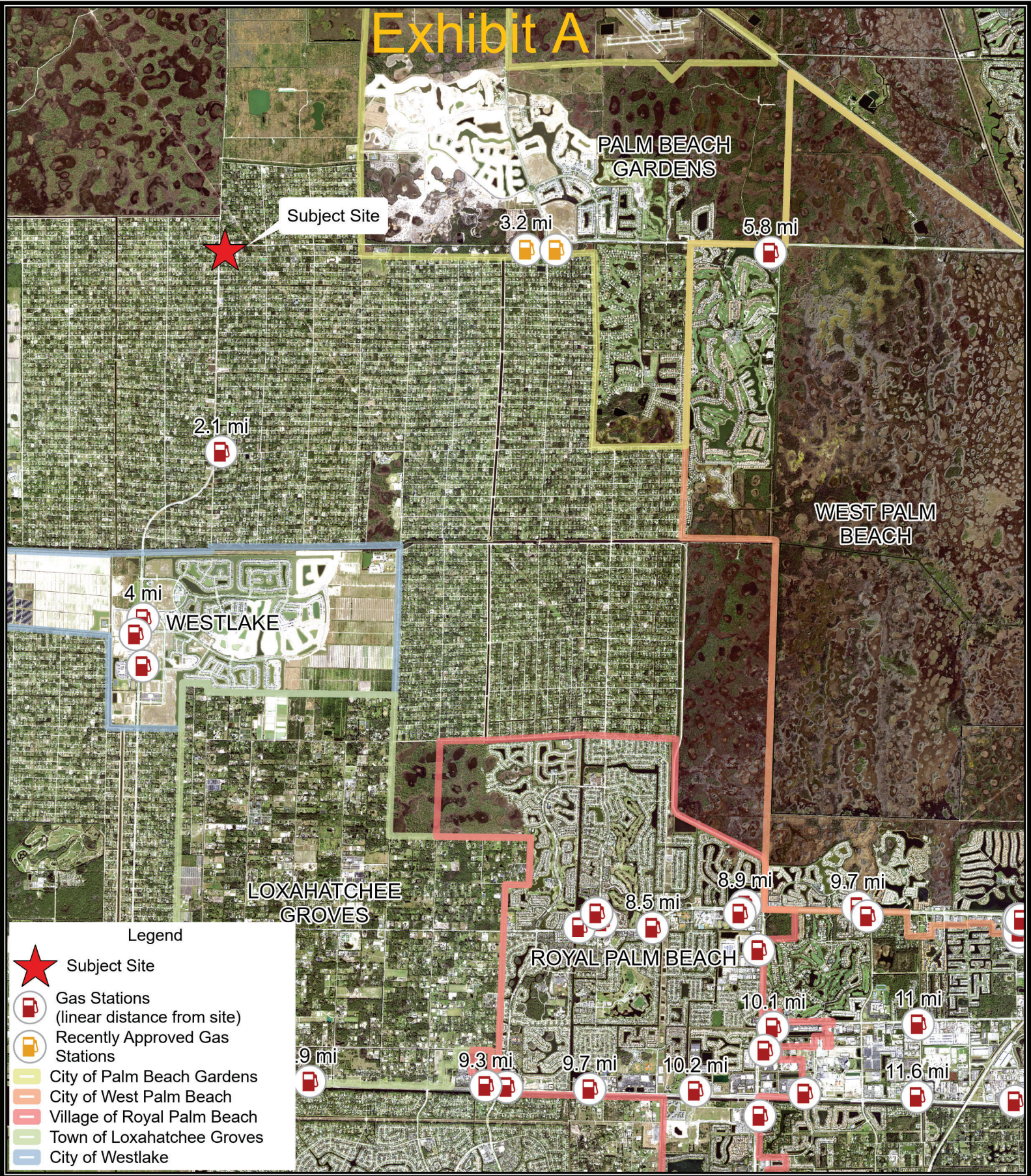
licensed environmental engineers and are aligned with the County's requirements for fueling stations. Taken together, these measures effectively protect the water supply and prevent contamination, demonstrating a proactive and compliant approach to environmental stewardship.

The proposed development is consistent with the Palm Beach County Comprehensive Plan and complies with the commercial location criteria outlined in the Future Land Use Atlas Amendment review process. It meets all applicable ULDC requirements, including those related to use compatibility, access, buffering, drainage, and appropriate scale. The project also supports the goals of the Western Northlake Corridor Land Use Study, originally adopted in 1998 and amended in 2010, which encourages small-scale, neighborhood-serving commercial development at key arterial intersections to reduce travel distances for essential goods and services. With a total building footprint of less than 20,000 square feet, the development remains appropriately scaled for the surrounding community. Moreover, the nearest existing fueling station on Northlake Boulevard is over five miles away, and the closest fueling station on Seminole Pratt Whitney Road is over two miles away. The nearest approved—but not yet built—fueling station on Northlake Boulevard is approximately over three miles from the site (Exhibit A). These stations will serve the existing and expanding developments outside County control. By providing a more conveniently located option, the proposed fueling station will serve existing traffic patterns, reduce trip lengths, and help minimize additional impacts to the local road network.

This proposal reflects a thoughtful response to the current and future needs of the area. With the emergence of large-scale developments like Westlake and Avenir—together bringing over 9,000 new homes—the need for localized, neighborhood-serving commercial uses is more critical than ever. The proposed site offers a logical, well-designed opportunity to fill that gap while respecting the character of The Acreage.

Thank you,

Jeanne Duharma
Senior Planner





Following the discussion at the transmittal hearing of the Applicant's comprehensive plan amendment in February 2025 and meetings with the neighboring community, the Applicant has made changes to the proposed site plan to directly address concerns related to land use intensity, neighborhood compatibility, and site circulation. These revisions were carefully crafted to reduce potential impacts on surrounding residents while preserving the viability and function of the proposal. Key changes include:

- **Removal of Higher-Intensity Uses:**
The previously proposed Car Wash and Type 1 Restaurant with drive-through have both been eliminated. This significantly reduces traffic generation, noise, and overall site intensity.
- **Improved Compatibility with Residential Neighbors:**
 - The site access point has been relocated to the north side of the Convenience Store, away from residential properties.
 - The outdoor dining area has been relocated to the north side of the Convenience Store, away from residential properties.
 - The wall along the southern property line, abutting existing homes, has been upgraded from 6 feet to 8 feet to enhance privacy and reduce visual and noise impacts.
 - An 8-foot wall has been added along the eastern property line to provide further separation and buffering from nearby residential uses.
 - Landscape buffers and preserve areas along the southern edge have been enhanced with additional landscape material to strengthen visual screening and support compatibility with the surrounding neighborhood.
- **Site Functionality and Environmental Sensitivity:**
 - Internal vehicular circulation has been redesigned to improve traffic flow and safety.
 - Grass parking has been introduced to reduce impervious surfaces and create a softer, more residential appearance that blends with the surrounding environment.
 - An Alternative Landscape Plan has been provided that features a native plant palette to promote environmental sustainability and regional character and limiting the use of palms in favor of native canopy trees and shrubs for more effective screening and shade.
- **Addressing Fueling Station Concerns:**
The applicant conducted a review of the fuel storage and design with the applicable licensed environmental engineers. The proposed site design will incorporate state-of-the-art environmental safeguards that exceed local, state, and federal requirements such as:



- Double-walled underground storage tanks with electronic leak detection systems and full secondary containment.
- Continuous monitoring of tank filling operations using overfill protection, grounding, and DOT-compliant procedures.
- A certified Spill Prevention, Control, and Countermeasure Plan that provides for daily, monthly, and annual inspections, and annual staff training on discharge prevention.

The updated plan reflects a balanced approach that reduces intensity, improves compatibility, and aligns with the character and expectations of the surrounding area while still providing for neighborhood supporting commercial uses at a significant intersection.

We look forward to presenting the updated proposal.

Thank you,

Jeanne Duharma
Senior Planner

Exhibit E-9 - Correspondence

One of 350+ Emails in Opposition

From: Acreage Landowners Association <info@acreagelandowners.com>

Sent: Monday, June 23, 2025 12:53 PM

To: BCC-All Commissioners <BCC-AllCommissioners@pbc.gov>; Whitney Carroll <WCarroll@pbc.gov>; Cindy Hoskin <CHoskin@pbc.gov>; Bryce Van Horn <BVanhorn@pbc.gov>; Lisa Amara A. <LAmara@pbc.gov>

Subject: Please deny West End Crossing PDD/CA-2023-00843

Dear Honorable Mayor, Commissioners and Staff

As a resident directly affected by the proposed development of a gas station, commercial, and medical office space at the SE corner of Northlake Blvd and Seminole Pratt Whitney Road. I urge the denial of this project. Although the Zoning Department states that the site meets commercial location criteria for the Tier required for an FLUA amendment, this proposal does not align with the Acreage Neighborhood Plan (ANP). The ANP, created and approved by our community in 198(?) and adopted as amended by PBC BCC in 2008, reflects our community's wants and needs. It can be found on the Palm Beach County website here [Acreage Neighborhood Plan](#) Additionally, the Zoning Department notes that the applicant has not provided sufficient justification for changing the land use designation, nor is the proposal compatible with surrounding uses. While the site may be suitable for some neighborhood-serving non-residential uses, the proposed high-traffic development, including a convenience store with gas sales adjacent to existing residential properties and schools, conflicts with Tier policies. These policies are designed to preserve the semi-rural residential, equestrian, and agricultural character of the community by ensuring that development aligns with the area's scale, mass, intensity of use, height, and character.

Concerns include:

The ANP stipulates that a commercial location must occupy at least 10 acres.

The maximum Floor Area Ratio (FAR) for this location should be no more than 0.1.

The ANP was amended in 2008 to allow a maximum of 4 pumps or 8 nozzles for gas stations within the Acreage Neighborhood Planning area.

The ANP mandates that a convenience store must be a walk-up rather than a walk-in establishment.

There are 13 completed or planned gas stations within approximately 5 miles from the furthest resident serving our immediate community. Refer to the map below for details.

It was stated at a previous BCC meeting that our community desires more commercial locations. A survey was conducted regarding this statement. I would like to request that the results be presented and discussed at the meeting, these results would prove to be otherwise. I specifically relocated to this community to distance myself from such establishments, recognizing that shopping would require a longer drive. I also acknowledge that there has already been significant commercial approved - built and unbuilt, in the area that already shortens that drive.

The ITID District Engineer does not believe that the County's legal positive outfall requirement has been met concerning water storage and drainage.

Palm Beach County already enforces stringent regulations regarding fuel stations and groundwater protection. As you are aware, over 90% of the residents in the unincorporated western community rely on wells. For more information, please refer to Palm Beach County's Safe Drinking Water Act.

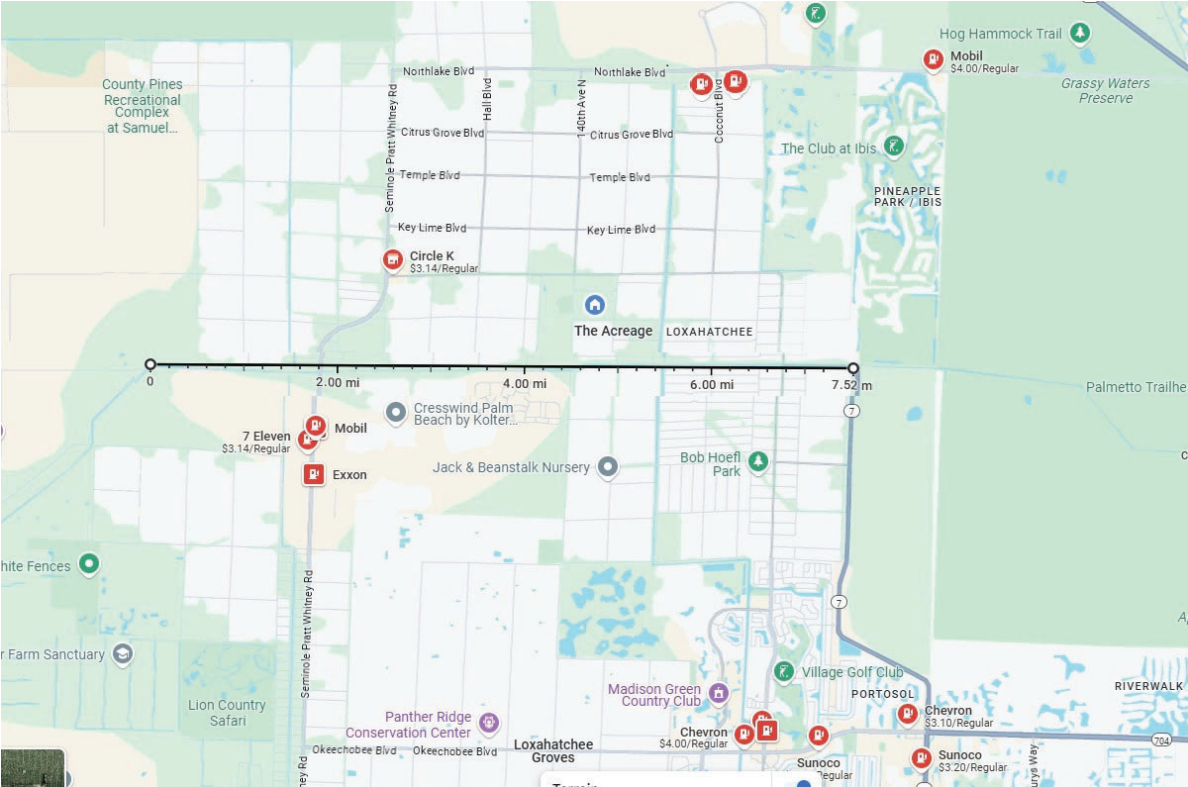
A letter was recently mailed to many residents stating the following: *"Economic Benefits – Increased property and sales tax revenue to support local infrastructure."*

This in no way will benefit the residents of The Acreage/Loxahatchee. Tax Revenue from commercial properties are rarely spent within our community. Infrastructure for the already planned and in progress construction should have been completed before these projects were approved. We do not need additional traffic brought into an already broken and potentially dangerous situation, forced on the western communities.

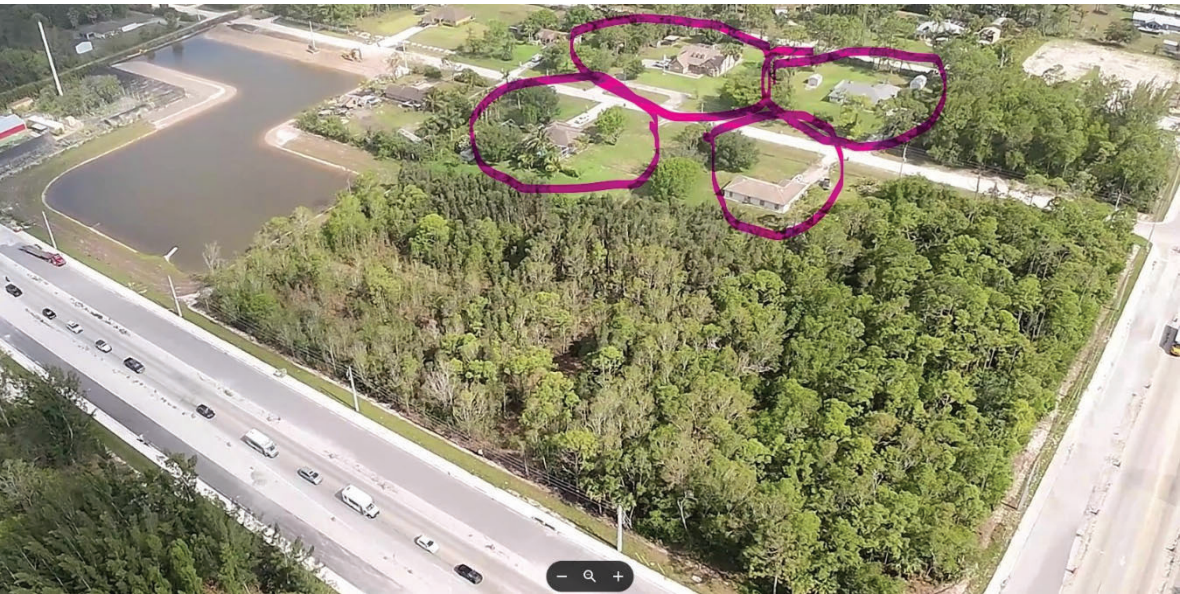
This intersection already faces heavy traffic. Adding a walk-in convenience store will increase traffic and crime. Additionally, the proposed left turn into the plaza from the westbound lane may cause more accidents due to impatient drivers. The site is also part of the Western Northlake Corridor Land Use Study (WNCLUS) and does not align with recommendations for commercial usage since existing approvals surpass demand. The amendment is inconsistent with the Comprehensive Plan. I urge the Board to deny this application based on the Planning

Department's recommendation. Please see the map below of current and approved gas stations in **RED** that already service our community.

13 current and approved fuel stations



What if this was your home?



From: [Bob Morgan](#)
To: [Bryce Van Horn](#)
Cc: [Stephanie Gregory](#); [Lisa Amara A.](#); [Wendy Hernandez N.](#); [Lisa Johnson](#); [pskoran@bellsouth.net](#); [Nancy Frontany Bou](#)
Subject: Re: FW: Please deny West End Crossing PDD/CA-2023-00843
Date: Thursday, August 7, 2025 4:47:18 PM
Attachments: [image001.png](#)
[image.png](#)
[West-End-Crossing-PDD_CA-2023-00843_2025-08-07.xlsx](#)

This Message Is From an External Sender

This message came from outside your organization.

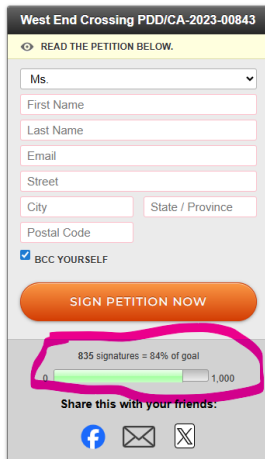
Hello Mr. Bryce,

Here are the email addresses that the petitions are going to in regards to the Staff. WCarroll@pbc.gov, CHoskin@pbc.gov, BVanhorn@pbcgov.org, lamara@pbcgov.org

It is very confusing that PBC has several domain names regarding emails, pbcgov.org, pbc.gov, etc. Please let me know if any of these need to be corrected. These are the same since the petition started on 05/28/2025. I have attached a spreadsheet of the total names that have signed the petition but will send an updated copy just before the BCC meeting. The petition can be viewed at www.ala-petition.com [ala-petition.com] and the current signature count can also be viewed if you wish to update the count at any time.

Petition – West End Crossing MUPD (LGA 2024-002) Final

West End Crossing PDD/CA-2023-00843



Thank you for your email.

Regards,
Bob Morgan
ALA
305-975-4392

On Wed, Aug 6, 2025 at 5:09 PM Bryce Van Horn <BVanhorn@pbc.gov> wrote:

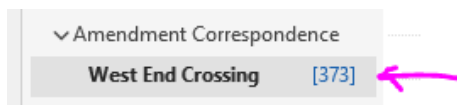
Bob,

After the meeting today I went back through my correspondence. The first of the form emails below that I received was on 5/28/25. The email below is the last email I received with the BCC-All Commissioners address (7/9/25). The next one after this was on 7/16/25 and had individual Commissioner addresses. I have

received 6 more of these emails since 7/16, all with individual Commissioner addresses. In total I received 373 of these form emails to date. They are all saved to pdf and we have a file with all the resident names that signed them.

We do have an email from Lisa Johnson from February 5 sent at 10:03 am the day of the BCC Comp Plan Transmittal Hearing that I have attached here that has a screenshot of a what looks like a text with a screenshot of a petition count of signatures (484 count with a goal of 1000) that have been submitted to the Acreage Landowners Association. I don't have anything with the actual resident signatures. The email has the address BCC-ALLComissioners@pbc.org. and is not from the ALA but is from Lisa Johnson. Is there something with resident signatures and addresses that you meant to submit from ALA? I think you mentioned a figure of 800 plus?

I have 373 form emails like the one below received as shown in screenshot of my inbox.



Bryce Van Horn, Senior Planner, Planning Division

Palm Beach County Planning, Zoning, & Building Dept.,

2300 N Jog Rd ♦ West Palm Beach, FL 33411

Direct 561-233-5355 ♦ Main 561-233-5300

Fax 561-233-5365 ♦ E-mail bvanhorn@pbc.gov

<http://discover.pbcgov.org/pzb/planning>

From: Acreage Landowners Association <info@acreagelandowners.com>

Sent: Wednesday, July 9, 2025 12:37 PM

To: BCC-All Commissioners <BCC-AllCommissioners@pbc.gov>; Whitney Carroll <WCarroll@pbc.gov>; Cindy Hoskin <CHoskin@pbc.gov>; Bryce Van Horn <BVanhorn@pbc.gov>; Lisa Amara A. <LAmara@pbc.gov>

Subject: Please deny West End Crossing PDD/CA-2023-00843

Dear Honorable Mayor, Commissioners and Staff

Sig ID	First Name	Last Name	Address	City	Date Signed
1	Bob	Morgan	13784 67th St N	West Palm Beach	5/28/2025 22:45
2	P	Skoran	12211 Orange Grove Blvd	West Palm Beach	5/28/2025 22:59
3	Jorge	Suarez	16898 71st Ln N	Loxahatchee	5/29/2025 1:17
4	kathy	maldonado	16039 Tangerine Blvd	Loxahatchee	5/29/2025 1:39
5	Theresa	Hamilton	12218 53rd R D N	West Palm Beach	5/29/2025 1:51
6	Amanda	Brennan	17317 75th Pl N	Loxahatchee	5/29/2025 4:30
7	Joanne	Markovich	17104 TANGERINE BLVD	Loxahatchee	5/29/2025 4:38
8	Christopher	Khanna	15658 88th Pl N	Loxahatchee	5/29/2025 4:55
9	Michelle	Steinweg	16440 88th rd n	Loxahatchee	5/29/2025 5:16
10	Melissa	Tolbert	17352 83rd Pl N	Loxahatchee	5/29/2025 5:25
11	Shane	Boswell	15215 72nd court north	Loxahatchee	5/29/2025 5:27
12	Gina	Parsons	74th St N	Loxahatchee	5/29/2025 5:29
13	Kelli	Salm	15553 Tangerine Blvd	Loxahatchee	5/29/2025 5:38
14	Rachel	McCullough	8665 Marlamoore Ln	Palm Bch Gdns	5/29/2025 5:44
15	Dakota	Smith	15627 92nd Ct N	West palm beach	5/29/2025 5:48
16	Curt	McCullough	8665 Marlamoore Lane	Palm Beach Gardens	5/29/2025 5:48
17	Frank	Nicolois	17186 90th St N	Loxahatchee	5/29/2025 5:50
18	Patricia	Withers	14839 Hamlin Blvd	Loxahatchee	5/29/2025 5:53
19	Joseph	Bird	14654 100th Ln N	West Palm Bch	5/29/2025 5:59
20	Alison	Bagheri	12326 Hamlin Blvd	West Palm Bch	5/29/2025 6:09
21	Kimberly	Savino	12275 77th Pl N	West Palm Beach	5/29/2025 6:11
22	J	Cantrell	12877 73rd Ct N	West Palm Bch	5/29/2025 6:11
23	gina	parrish	15401 71st place n	Loxahatchee	5/29/2025 6:24
24	LOUIS	COLANTUONI	7849 COCONUT BLVD	W PALM BCH	5/29/2025 6:27
25	Shelbea	Reville	14596 N Rd	Loxahatchee	5/29/2025 6:27
26	Daniel	Arnold	12900 63RD LN N	West Palm Bch	5/29/2025 6:32
27	Jenna	Jones	14743 76th Rd N	Loxahatchee	5/29/2025 6:34
28	Gregory	Brandon	16897 87th Ln N	Loxahatchee	5/29/2025 6:40
29	Dawn	Queen	13355 56th Pl N	West Palm Bch	5/29/2025 6:40
30	Joshua	Heinl	15276 87th Rd N	Loxahatchee	5/29/2025 6:42
31	Lori	Spellman	14580 66th St N	Loxahatchee	5/29/2025 6:44
32	Chris	Mueller	17393 92nd ln north	Loxahatchee	5/29/2025 6:47
33	Jennifer	Schunatz	16859 84th Ct N	Loxahatchee	5/29/2025 6:51
34	Susan	Williams	17272 86th St N	Loxahatchee	5/29/2025 6:51
35	Charde	Maldonado	15514 99th St N	West Palm Bch	5/29/2025 6:58
36	Rachel	Pfister	11649 56th Pl N	West Palm Beach	5/29/2025 7:07
37	Mike	Andre	Aqueduct	Lox	5/29/2025 7:08
38	Patricia	Gatti	18307 93rd road N	Loxahatchee	5/29/2025 7:13
39	Michael	Fitting	15514 99th St N	West Palm Beach	5/29/2025 7:14
40	Isabela	Kopke	E Downers Dr	Loxahatchee	5/29/2025 7:15
41	Jessica	Morales	14769 67th St N Fl 33470	Loxahatchee	5/29/2025 7:15
42	Irene	Goodall	17388 66th Ct N	Loxahatchee	5/29/2025 7:21
43	Shannon	Walter	17636 66th Ct N	Loxahatchee	5/29/2025 7:25
44	Brandon	Sherman	13086 88th Pl N	West Palm Beach	5/29/2025 7:27
45	William	Derks	20500 Simone Dr	Loxahatchee	5/29/2025 7:29
46	Jessie	Brooks	16074 Murcott Blvd	Loxahatchee	5/29/2025 7:33
47	Cheri	Morrison	16664 Valencia Blvd	Loxahatchee	5/29/2025 7:35
48	Michael	Brooks	16074 Murcott Blvd	Loxahatchee	5/29/2025 7:37

Sig ID	First Name	Last Name	Address	City	Date Signed
49	Walter	Fonger	16824 71st Ln N	Loxahatchee	5/29/2025 7:39
50	Mitchell	Kysor	17792 prado blvd	Loxahatchee	5/29/2025 7:39
51	Tina	Sweet	12232 52nd Rd N	West Palm Bch	5/29/2025 7:40
52	Benita	Tobin	13047 88th Pl N	West Palm Bch	5/29/2025 7:47
53	Penny	Pankratz	13740 67th Street N	West Palm Beach	5/29/2025 7:48
54	Carlos	Datena	17626 90th St N	Loxahatchee	5/29/2025 7:50
55	Phil	Tobin	13044 88th Pl N	WPB	5/29/2025 7:54
56	Kasey	Stepro	16143 62nd RD N	Loxahatchee	5/29/2025 7:59
57	Chaim	Russ	17024 81 Lane n	Loxahatchee	5/29/2025 8:01
58	Matthew	Green	9424 Apache Blvd	WEST PALM BCH	5/29/2025 8:03
59	Atahualpa	Trindade	14544 67th Street N	Loxahatchee	5/29/2025 8:03
60	Charlie	Green	9424 Apache Blvd	WEST PALM BCH	5/29/2025 8:04
61	tyler	maursetter	17390 67th ct n	loxahatchee	5/29/2025 8:04
62	Randy	Green	9424 Apache Blvd	WEST PALM BCH	5/29/2025 8:05
63	Dawn	Ortiz	12696 61st St N	West Palm Beach	5/29/2025 8:07
64	Lisa	johnson	17855 89th Pl N	Loxahatchee	5/29/2025 8:10
65	Alicia	Sheppard	15780 97th Rd N	West Palm Bch	5/29/2025 8:12
66	Delia	Lalchan	16070 91st Pl N	The Acreage	5/29/2025 8:13
67	Grace	Wilson	15852 Hamlin Blvd	Loxahatchee	5/29/2025 8:15
68	Shaina	Latulippe	12747 88th Pl N	West Palm Bch	5/29/2025 8:16
69	Mario	Cannizzaro	16178 91st pl north	Loxahatchee	5/29/2025 8:16
70	James	Shackelford	FS 119	Loxahatchee	5/29/2025 8:17
71	Sarah	Konchak	17876 94th St N	Loxahatchee	5/29/2025 8:20
72	Christina	Lucas	9070 Banyan Blvd	Loxahatchee	5/29/2025 8:20
73	Chris	Carlson	16825 71st ln north	Loxahatchee	5/29/2025 8:20
74	Sharon	Hanley	11479 47th Rd N	West Palm Bch	5/29/2025 8:21
75	Charles	Johnson	17856 89th Pl N	Loxahatchee	5/29/2025 8:21
76	Taylor	Brooks	Pimlico	Loxahatchee	5/29/2025 8:22
77	Troy	Nelson	17774 Hamlin Blvd	Loxahatchee	5/29/2025 8:26
78	Nadege	Nadege Maldonado	15403 79th ct n	loxahatchee	5/29/2025 8:29
79	angela	walton	16298 89th Pl N	Loxahatchee	5/29/2025 8:29
80	Keli	Cross	17728 81st Ln N	Loxahatchee	5/29/2025 8:30
81	Anthony	Cannizzaro	16178 91st pl n	Loxahatchee	5/29/2025 8:30
82	Ronald	Sierens	17728 81st Ln N	Loxahatchee	5/29/2025 8:32
83	James	D'Arcy	17271 Valencia Blvd	Loxahatchee	5/29/2025 8:33
84	Anne	Murphy	13845 88th Pl N	West Palm Bch	5/29/2025 8:33
85	Phyllis	Cross	17728 81st Ln N	Loxahatchee	5/29/2025 8:34
86	Elizabeth	Cordova	15627 92nd Ct N	West Palm Bch	5/29/2025 8:35
87	Brett	Cross	17728 81st Ln N	Loxahatchee	5/29/2025 8:35
88	Jason	Vervlied	17727 70th St N	Loxahatchee	5/29/2025 8:36
89	Lillian	Hall	15744 Temple Blvd	Loxahatchee	5/29/2025 8:37
90	Yvette	Brown	12059 61st St N	West Palm Bch	5/29/2025 8:40
91	Shannon	McCord	17179 68th St N	Loxahatchee	5/29/2025 8:41
92	Rebecca	Davis	12780 Sunset Blvd	West Palm Bch	5/29/2025 8:41
93	Alex	Kirsch	13299 Citrus Grove Blvd	West Palm Beach	5/29/2025 8:41
94	Andy	Lichtenstein	9942 Timber Creek Way	Palm Bch Gdns	5/29/2025 8:41
95	Cristina	Vilela	13925 78TH PL N	West Palm Bch	5/29/2025 8:44
96	Naeem	John	16070 91st Pl N	Loxahatchee	5/29/2025 8:45

Sig ID	First Name	Last Name	Address	City	Date Signed
97	Fredi	Addabbo	13419 76th Rd N	WEST PALM BCH	5/29/2025 8:46
98	Thomas	Muurphy	13845 88th place north	West Palm Beach	5/29/2025 8:46
99	Javi	Zuniga	61st	Loxahatchee	5/29/2025 8:48
100	Selena	Huck	16249 E Pleasure Dr	Loxahatchee	5/29/2025 8:49
101	Holly	Almeida	16898 Temple Blvd	Loxahatchee	5/29/2025 8:51
102	Kaitlin	Wattenbarger	16894 89th PL N	Loxahatchee	5/29/2025 8:52
103	Ellen	Moritz	16345 61st Pl N	Loxahatchee	5/29/2025 8:55
104	Brandon	Wattenbarger	16894 89th PL	Loxahatchee	5/29/2025 8:55
105	Kimberly	Rawn	7354 Mandarin Blvd	Loxahatchee	5/29/2025 8:55
106	Josh	Barnett	14828 79th Court N	Loxahatchee	5/29/2025 8:56
107	Jay	Baldwin	7354 Mandarin Blvd	Loxahatchee	5/29/2025 8:57
108	Amber	Nuss	805 Ne 24th Ave	Okeechobee	5/29/2025 9:00
109	Suzie	Fritz	12970 55th Rd N	West Palm Bch	5/29/2025 9:00
110	Brad	Dufort	71st Ln N	Loxahatchee	5/29/2025 9:01
111	Matthew	Kirsch	13299 Citrus Grove Blvd	West Palm Beach	5/29/2025 9:01
112	Tracy	Baker	15668 60th Place North	LOXAHATCHEE	5/29/2025 9:01
113	Catherine	Barnett	14828 79th Court N	Loxahatchee	5/29/2025 9:02
114	Danielle	Mandracchia	13211 74th St N	West palm beach	5/29/2025 9:09
115	Zachary	Infante	13211 74th st n	Weat palm beach	5/29/2025 9:10
116	Jessica	Mellette	16529 71st Lane N	Loxahatchee	5/29/2025 9:11
117	Trevor	Hoadley	17525 75th Pl N	Loxahatchee	5/29/2025 9:13
118	Danielle	Hawkins	13089 57th place north	Wpb	5/29/2025 9:13
119	Justin	Mellette	16529 71st Ln N	Loxahatchee	5/29/2025 9:14
120	Dana M	Wolford	13616 67th St N	West Palm Beach	5/29/2025 9:15
121	Annmarie	Laporta	16244 E Hialeah Dr	Westlake	5/29/2025 9:16
122	Rebecca	Lucas	6401 Circle D Dr	Loxahatchee	5/29/2025 9:19
123	Sherida	Pinder	17356 66th Ct N	Loxahatchee	5/29/2025 9:23
124	Tracy	Grudzielanek	18649 W Sycamore	LOXAHATCHEE	5/29/2025 9:26
125	Carolyn	Coffman	78th Pl N	Loxahatchee	5/29/2025 9:26
126	James	Roche	16731 78th Rd N	Loxahatchee	5/29/2025 9:27
127	Elain	Hylton	13757 Orange Blvd 17686 88th Road N	West Palm Beach	5/29/2025 9:30
128	Jeanean	Calcutti	Loxahatchee, FL 33470	Loxahatchee	5/29/2025 9:31
129	Anthony	Merva	17186 76th St N	Loxahatchee	5/29/2025 9:33
130	Dana	Carlson	16825 71st ln n	Loxahatchee	5/29/2025 9:35
131	Nici	Clapp	4692 Estates Cir	Westlake	5/29/2025 9:39
132	Sarah	Harden	16823 76th Street North	Loxahatchee	5/29/2025 9:41
133	Jean	Edwards	15811 82nd St N	Loxahatchee	5/29/2025 9:41
134	Jennifer	Dougherty	17266 79TH CT N	LOXAHATCHEE	5/29/2025 9:42
135	Janis N	Lewandowski	17979 75th Pl N	Loxahatchee	5/29/2025 9:42
136	carlos	Enriquez	17507 37th Pl N	Loxahatchee	5/29/2025 10:00
137	patricia	lovellette	13023 59th Ct N	WEST PALM BCH	5/29/2025 10:01
138	Melanie	Lima	17686 70th Street North	Loxahatchee	5/29/2025 10:07
139	Harold	Ravelo	11648 54st n	West Palm Beach	5/29/2025 10:11
140	Ali	Shumate	15630 99th St N	West Palm Bch	5/29/2025 10:18
141	Nancy	Schneider	18799 90th St N	Loxahatchee	5/29/2025 10:23
142	Elias	Ricker	18634 94TH ST N	Loxahatchee	5/29/2025 10:29

Sig ID	First Name	Last Name	Address	City	Date Signed
143	Allison	Pierce	15882 Citrus Grove Blvd	Loxahatchee	5/29/2025 10:37
144	Shannon	Leonard	13421 79TH CT N	West Palm Bch	5/29/2025 10:37
145	Sarah	Llewellyn	16888 W Hialeah Dr	Loxahatchee	5/29/2025 10:37
146	Ozzie	Perez	4600 130th Ave N	WEST PALM BEACH	5/29/2025 10:42
147	Jackie	Michels	15325 Tangelo Blvd	West palm beach	5/29/2025 10:45
148	Keith	Nolan	17578 49th St N	Loxahatchee	5/29/2025 10:52
149	Nichole	Vardaman	41st Rd N	Loxahatchee	5/29/2025 10:58
150	Vicki	Marang	6 Mulberry Ln	Pryor	5/29/2025 10:59
151	Chelsea	Chastain	17725 89th place north	Loxahatchee	5/29/2025 11:01
152	Robin	Quintero	17568 Valencia Blvd	Loxahatchee	5/29/2025 11:06
153	Julio	Romero	16394 70th St N	Loxahatchee	5/29/2025 11:11
154	Germaine	Pointer	15669 97th Road N	The Acreage	5/29/2025 11:15
155	Daniel	Dalton	13839 74th St N	West Palm Bch	5/29/2025 11:15
156	Alesia	Bonincontri	17025 81st Ln N	Loxahatchee	5/29/2025 11:22
157	Iunna	Linova	13299 Citrus Grove Blvd	West Palm Beach	5/29/2025 11:24
158	HELMUT	SAEGER	15822 72nd ct n	Loxahatchee	5/29/2025 11:26
159	Cassandra	Martinez McDow	12291 76th rd N	West Palm Beach	5/29/2025 11:26
160	Patti Jo	Tate-Stoutt	17034 93rd Rd N	Loxahatchee	5/29/2025 11:35
161	vito	scarola	13836 46th court N	WEST PALM BEACH	5/29/2025 11:36
162	Larisa	Klein	13570 52nd Ct N	West Palm Bch	5/29/2025 11:39
163	Susan	LaCasse	756 Hawthorne Dr	West Palm Beach	5/29/2025 11:44
164	Eileen	Coursen	16192 73rd Ct N	Loxahatchee	5/29/2025 11:48
165	Melissa	Marcoux	16439 Key Lime Blvd	Loxahatchee	5/29/2025 11:53
166	Julie	Duffy	15210 97th Rd N	West Palm Beach	5/29/2025 11:54
167	Michele wright	Wright	15770 83rd Ln N	Loxahatchee	5/29/2025 11:55
168	Lynne	Cross	9339 Grapeview Blvd	West Palm Beach	5/29/2025 11:56
169	Rex	Bruce	6885 143rd Dr N	Loxahatchee	5/29/2025 12:02
170	Stephanie	Rehe	16031 87th Ln N	Loxahatchee	5/29/2025 12:13
171	Michael	Rowland	11255 67th Pl N	West Palm Bch	5/29/2025 12:16
172	Dani	Trotta	13382 85TH RD N	WEST PALM BEACH	5/29/2025 12:19
173	Alejandra	Pacheco	16112 E Preakness Drive	Loxahatchee	5/29/2025 12:21
174	Donald	McEwen	Citrus Grove Boulevard	wpb	5/29/2025 12:24
175	Liliana	Pomareda	16107 86th St N	Loxahatchee	5/29/2025 12:25
176	Gloria	Storms	15130 GOLDFINCH CIR	Loxahatchee	5/29/2025 12:25
177	David	Durham	15897 62nd Pl. N	Loxahatchee	5/29/2025 12:28
178	Dawn	Shock	17183 Key Lime Blvd.	Loxahatchee	5/29/2025 12:28
179	Charles	Bennett	61st Lane North	Loxahatchee	5/29/2025 12:33
180	Holly	Walter	16029 88th Road N	Loxahatchee	5/29/2025 12:38
181	Stefanie	Pectal	16746 E Yorkshire Dr	Loxahatchee	5/29/2025 12:42
182	John	Woodside	15515 75th Lane N	Loxahatchee	5/29/2025 12:44
183	Angela	Moser		14078 Westlake	5/29/2025 12:50
184	Juan	Phillips	Temple Blvd.	Loxahatchee	5/29/2025 12:53
185	Cristina	Viamonte	16611 73rd Ct N	Loxahatchee	5/29/2025 12:58
186	Marcy	Fitzsimmons	17608 86th Street North	Loxahatchee	5/29/2025 13:03
187	Camila	Pineda	16838 64th Pl N	Loxahatchee	5/29/2025 13:17
188	Kristin	Cross	16118 71st Ln N	Loxahatchee	5/29/2025 13:23
189	April	Coggins	8792 130th Avenue, North	West Palm Beach	5/29/2025 13:26
190	Eliza	Espinoza	15924 citrus grove blvd	Loxahatchee	5/29/2025 13:36

Sig ID	First Name	Last Name	Address	City	Date Signed
191	David	Kingsley	15477 Tangerine Blvd.	Loxahatchee	5/29/2025 13:46
192	Vanessa	Rivera	13001 47th Ct N	West Palm Bch	5/29/2025 13:46
193	Duane	Moulton	15477 Tangerine Blvd.	LOXAHATCHEE	5/29/2025 13:46
194	BENJAMIN	PINCUS	7795 EDEN RIDGE WAY	PALM BCH GDNS	5/29/2025 13:54
195	Shelly	Ballo	86th St N	Loxahatchee	5/29/2025 13:57
196	Courtney	brinkley	16142 90th St N	Loxahatchee	5/29/2025 14:09
197	Lisa	DeZolt	15477 92nd Ct. N.	West Palm Beach	5/29/2025 14:16
198	Barbara	Morgan	13784 67th St N	West Palm Bch	5/29/2025 14:41
199	Colton	Loftus	17044 76TH ST N	Loxahatchee	5/29/2025 14:43
200	Betsy	Theodule	17438 81st Ln N	Loxahatchee	5/29/2025 14:50
201	Peggy	Shappell	16280 E YORKSHIRE DR	Loxahatchee	5/29/2025 15:02
202	Bruce	Farrell	12417 75th Ln N	West Palm Bch	5/29/2025 15:15
203	Jonathan	Chin Lee	15162 86th Rd N	Loxahatchee	5/29/2025 15:32
204	Jacqueline	Straessle-Chin Lee	15162 86th Rd N	Loxahatchee	5/29/2025 15:34
205	William	Wood	16496 68th St N	Loxahatchee	5/29/2025 15:34
206	Matthew	Bota	15362 62nd Pl N	LOXAHATCHEE	5/29/2025 15:41
207	Jasmine	Aiken	14043 85th Rd N	Loxahatchee	5/29/2025 15:48
208	Manuel	Puccini	16107 86th St N	Loxahatchee	5/29/2025 15:53
209	William	Danison	14576 73RD ST N	LOXAHATCHEE	5/29/2025 16:06
210	vickie	demerski	13556 Hamlin Blvd	WEST PALM BCH	5/29/2025 16:13
211	Pam	Casey	13396 49th street north	West palm beach	5/29/2025 16:32
212	Kristina	Howard	15240 88th pl n	Loxahatchee	5/29/2025 16:34
213	James	Wallett	16259 87th lane n	Loxahatchee	5/29/2025 16:40
214	John	DeZolt	15477 92nd ct n	West Palm beach	5/29/2025 16:41
215	Cynthia	Lawson	12936,59th Street North	West Palm Beach	5/29/2025 16:44
216	kev	Spellman	66th St N	Loxahatchee	5/29/2025 16:59
217	Seren	Tom	17355 84th Ct N	Loxahatchee	5/29/2025 17:01
218	William	Stoutenburgh	15248 99 St. N.	West Palm Beach	5/29/2025 17:24
219	Kris	Jones	17730 78TH RD N	Loxahatchee	5/29/2025 17:31
220	Allison	Spall	16244 E Lancashire Dr	Loxahatchee	5/29/2025 17:32
221	Eric	Seeley	9116 Banyan Blvd	Loxahatchee	5/29/2025 17:32
222	Amanda	Provence	17774 72nd Rd N	Loxahatchee	5/29/2025 17:49
223	Rani	Foley	6975 grapeview blvd	Loxahatchee	5/29/2025 17:57
224	Sherri	Cannizzaro	16178 91st Pl N	Loxahatchee	5/29/2025 18:05
225	Kimberly	Buchmann	16326 76th St N	LOXAHATCHEE	5/29/2025 18:05
226	Dawn	DiBari	13433 66TH ST N	WEST PALM BCH	5/29/2025 18:16
227	Kimberly	Doran	15326 71st PL N	Loxahatchee	5/29/2025 18:45
228	Trinity	Green	9424 APACHE BLVD	WEST PALM BCH	5/29/2025 18:53
229	Krista	Waddell	13706 Persimmon Blvd	West Palm Beach	5/29/2025 18:58
230	Daniel	Perez	13052 88th Pl N	West Palm Beach	5/29/2025 19:11
231	Janet	Kuleaa	16396 75th Pl N	Loxahatchee	5/29/2025 19:13
232	Erika	O'Stewart	69th St N	Loxahatchee	5/29/2025 19:27
233	Natasha	White	17225 83RD PL N	LOXAHATCHEE	5/29/2025 19:53
234	Kim	Bates	14693 Tangerine Boulevard	Loxahatchee	5/29/2025 19:56
235	patricia	hartwig	17206 33rd Rd N	Loxahatchee	5/29/2025 19:57
236	Michael	Dixon	17930 91st Pl N	Loxahatchee	5/29/2025 19:58
237	Stephanie	Williams	15858 96th Lane N	West Palm Beach	5/29/2025 20:05
238	Soc	Dit		14842 Wpb	5/29/2025 20:09

Sig ID	First Name	Last Name	Address	City	Date Signed
239	Michael	Silva	122nd dr N	West Palm Beach	5/29/2025 20:10
240	Dawn	Gerlach	15285 92nd Ct N	West Palm Beach	5/29/2025 20:19
241	Devin	Snelick	16354 E Derby Drive	Loxahatchee	5/29/2025 20:46
242	Logan	Snelick	16354 E. Derby Dr	Loxahatchee	5/29/2025 20:47
243	Tommy	McNamara	86th Rd N	Loxahatchee	5/29/2025 21:02
244	Claudia	Vazquez	16969 Hamlin Boulevard	Loxahatchee	5/29/2025 21:29
245	Marjorie	Roy	13291 Key Lime Blvd	West Palm Beach	5/29/2025 21:33
246	Nancy	Barnes	19122 Green Grove Court	Loxahatchee	5/29/2025 21:34
247	Cathryn	Smith	16355 E. Cheltenham Drive	Loxahatchee	5/29/2025 21:52
248	Shari	Levey	17161 41st Rd N	Loxahatchee	5/29/2025 21:53
249	Andrew	Mcfarlane	5854 130th Ave N	West Palm Beach	5/29/2025 22:07
250	Laura	Telgen	17769 93rd Rd N	Loxahatchee	5/29/2025 22:38
251	Michael	Tyler	12186 67th St N	West Palm Bch	5/29/2025 22:40
252	Donna	Beach	12946 67Th St. N.	West Palm Beach	5/29/2025 22:41
253	Sandra	Taylor	16888 W Stallion Dr	Loxahatchee	5/29/2025 22:44
254	Scott	Hoffmann	11127 62nd Ln N	West Palm Beach	5/29/2025 22:48
255	Gabriela	Kintzer	14082 86th Rd N	Loxahatchee	5/30/2025 1:29
256	Hector	Castro	14557 79th Ct N	Loxahatchee	5/30/2025 1:35
257	Ana	Salas-Garcia's	17627 92nd Ln N	Loxahatchee	5/30/2025 1:56
258	Grace	Lopez	17433 86th st n	Loxhatchee	5/30/2025 2:27
259	Nanette	Ogara	16645 77th Ln N	Loxahatchee	5/30/2025 2:46
260	Kevin	Taub	18980 46th Ct N	Loxahatchee	5/30/2025 4:07
261	Robert	Hertzer	14310 83rd LN North	Loxahatchee	5/30/2025 4:38
262	Shannon	Lockwood	17978 83rd Pl N	Loxahatchee	5/30/2025 4:53
263	Edward	McLean	17437 82nd Rd N	Loxahatchee	5/30/2025 5:55
264	Andrew	Frazier	13375 79th CT N	West Palm Beach	5/30/2025 6:01
265	Lisa	Brown	13528 40th Ln N	West Palm Beach	5/30/2025 6:28
266	Christina	Pegg	16702 81st Ln N	Loxahatchee	5/30/2025 6:43
267	Michael	Valdez	14617 60th Ct N	Loxahatchee	5/30/2025 7:11
268	JIM	CROWNING	14754 87TH STREET N	LOXAHATCHEE	5/30/2025 7:23
269	Sharon Lauren	Musgrave	16346 61st Pl N	Loxahatchee	5/30/2025 7:24
270	Richardson	Leon	15352 citrus grove blvd	Loxahatchee	5/30/2025 7:31
271	Amy	Ledford	13717 74th St N	West Palm Bch	5/30/2025 7:34
272	Diane	Perez	13925 42nd Rd N	West Palm Bch	5/30/2025 7:43
273	Clyde	Goodall	17388 66th Ct N	Loxahatchee	5/30/2025 7:45
274	Elias	Hernandez	16406 94TH ST N	Loxahatchee	5/30/2025 7:51
275	Tyler	Mccarthy	17858 82nd Road N	Loxahatchee	5/30/2025 7:52
276	Margarita	Uribe	16406 94TH ST N	Loxahatchee	5/30/2025 7:52
277	Emma	Gillilan	14281 72nd Ct N	Loxahatchee	5/30/2025 7:53
278	Christopher	Smith	14617 73rd St N	Loxahatchee	5/30/2025 8:05
279	Jessica	Groff	16741 Valencia Blvd	Loxahatchee	5/30/2025 8:06
280	Kevin	Groff	16741 Valencia Blvd	Loxahatchee	5/30/2025 8:12
281	Kimberley	Edwards	5045 Avocado Blvd	West Palm Beach	5/30/2025 8:28
282	martin	Heather	4719 127th trl n	West palm beach	5/30/2025 8:40
283	Gracille	Hill	17562 68 Th St N	Loxahatchee	5/30/2025 8:47
284	Richard	Martin	4719 127th trl north	West Palm beach	5/30/2025 8:49
285	Mary ella	Morrison	16685 76 Street North	Loxahatchee	5/30/2025 8:56

Sig ID	First Name	Last Name	Address	City	Date Signed
286	Hope Marie	Fogel	16055 Aintree Drive East	Loxahatchee	5/30/2025 9:06
287	Dove	Moore	17268 71st Ln N	Loxahatchee	5/30/2025 9:07
288	Megan	Desouza	12443 80th Ln N	West Palm Beach	5/30/2025 9:08
289	Jayme	Allan	16395 78th Rd N	Loxahatchee	5/30/2025 9:09
290	Jessica	Abalos	15741 99th ct n	West Palm Beach	5/30/2025 9:11
291	Henry	Deibel	13656 69 street north	West palm beach	5/30/2025 9:11
292	Brandon	James	16358 73rd Ct N	Loxahatchee	5/30/2025 9:19
293	Chris	Chicoyne	16566 68th ST N 18219 Murcott Blvd, 18219	Loxahatchee	5/30/2025 9:22
294	Richard	Calkins	Murcott Blvd, 33470	Loxahatchee	5/30/2025 9:39
295	James	Black	6143 Royal Palm Beach Blvd	WEST PALM BCH	5/30/2025 9:40
296	Thomas	Murphy	12668 73rd Ct N	West Palm Bch	5/30/2025 9:51
297	Deion	McMinns	17892 temple blvd	Loxahatchee	5/30/2025 9:53
298	David	rosenthal	4392 121 terr., n	The Acreage	5/30/2025 10:23
299	Marla	Portell	13705 55th Rd N	Royal Palm Beach	5/30/2025 10:35
300	Michelle	Wells	17770 79th Ct N	Loxahatchee	5/30/2025 10:36
301	Emily	Crooker	13047 82nd St N	West Palm Bch	5/30/2025 10:38
302	BARTOLO	COSOLITO	ORANGE BLVD	LOX	5/30/2025 10:45
303	Margaret	Albernaz	1260 Parksidegreen drive, unit A	GreenAcres	5/30/2025 11:00
304	Storm	Kruczek	15364 74th Street North	Loxahatchee	5/30/2025 11:09
305	Briana	Lozott	12668 89TH PL N	West Palm Bch	5/30/2025 11:14
306	James	Kulesa	75th Pl N	Loxahatchee	5/30/2025 11:26
307	Sandra	Faust	16329 83rd Place No	Loxahatchee	5/30/2025 11:55
308	Michael	Christiano	17141 67 th ct north	Loxahatchee	5/30/2025 12:18
309	charles	shellenbarger	12566 Tangerine Boulevard	West Palm Beach	5/30/2025 12:52
310	Jackie	miele	17104 79th Ct N	Loxahatchee	5/30/2025 12:55
311	Jane	Dyer	2792 D Rd	Loxahatchee	5/30/2025 12:56
312	Debbie	Selling	15389 86th Rd N	Loxahatchee	5/30/2025 13:01
313	Gary	Edwards	15389 86TH Road N	Loxahatchee	5/30/2025 13:01
314	Laura	Peach	13166 75th Lane N	West Palm Beach	5/30/2025 13:18
315	Britt	Swope	14861 82nd Lane	Locahatchee	5/30/2025 13:34
316	Nina	Freeman	6231 Banyan Blvd	Loxahatchee	5/30/2025 13:48
317	Tationa	Robinson	10366 Fox Trail Rd S	West Palm Beach	5/30/2025 13:49
318	Kim	Adamczyk	14576 78th Pl N	Loxahatchee	5/30/2025 14:11
319	LaSundra	Scheibner	15097 77th Pl N	Loxahatchee	5/30/2025 14:12
320	Michael	Erickson	13972 88th place north	West Palm Beach	5/30/2025 14:22
321	Hannah	Grilliot	13706 58th CT N	West Palm Beach	5/30/2025 14:24
322	Ken	Flynn	13521 61st St N	West Palm Beach	5/30/2025 14:47
323	Robert	Bronner	15273 88th Pl N.	Loxahatchee	5/30/2025 15:43
324	Kelly	Donovan	17370 44th Place North	Loxahatchee	5/30/2025 15:46
325	Mary Beth	Reeves	13674 74th St N	West Palm Beach	5/30/2025 16:29
326	Jacob	Shephard	17925 38th rd N	Loxahatchee	5/30/2025 16:35
327	Wendy	Shain	16407 81st Lane North	Loxahatchee	5/30/2025 17:08
328	Timothy	McQueeney	74th	PBG	5/30/2025 17:55
329	Justin	Klein	16875 63rd Rd. N	Loxahatchee	5/30/2025 18:58
330	Zsuzsanna	Zold	17254 38TH RD N	Loxahatchee	5/30/2025 20:19
331	Kimberly	Bauer	15441 93rd St N	West Palm Beach	5/30/2025 21:09
332	Christopher	Allan	16395 78th Road North	Loxahatchee	5/30/2025 21:18

Sig ID	First Name	Last Name	Address	City	Date Signed
333	Gina	LEITHEUSER	14843 Tangelo Blvd	West Palm Bch	5/30/2025 21:46
334	Joanna	Grilliot	13705 58th ct nth	Wpb	5/30/2025 22:40
335	Peter	Lekos	17789 W Sycamore Dr	Loxahatchee	5/30/2025 23:34
336	Lora	Pete Lekos	17789 W Sycamore Dr	Loxahatchee	5/30/2025 23:35
337	Carolina	Kazmierczak	16595 81st Ln N	Loxahatchee	5/30/2025 23:56
338	Chris	Harris	14576 71st Place N	Loxahatchee	5/31/2025 6:35
339	Laura	Engel	18022 90th Street N	Loxahatchee	5/31/2025 8:42
340	Diana	Perez	15885 88TH PL N	Loxahatchee	5/31/2025 8:45
341	James	Franchi	6785 143rd Dr N	Loxahatchee	5/31/2025 9:19
342	Taylor	Phipps	3228 Gun Club Rd	WPB	5/31/2025 9:41
343	Ronald	Snelick	16354 E Derby Dr	Loxahatchee	5/31/2025 9:50
344	Deborah	Terrell	81st Lane N	Loxahatchee	5/31/2025 10:44
345	Joanne	Franchi		6785 Loxahatchee	5/31/2025 10:47
346	Lisa	Abraham	17622 44th Pl N	Loxahatchee	5/31/2025 10:55
347	Carlie	Franchi	6785 143rd dr north	loxahatchee	5/31/2025 11:04
348	Amaya	Mescher	16318 E Brighton Dr.	Loxahatchee	5/31/2025 11:18
349	Matthew	Monawar	714 Hookline Circle	Loxahatchee Groves	5/31/2025 12:13
350	Teri	Priest-Lewis	16609 67th Court North	Loxahatchee	5/31/2025 13:47
351	Neil Scott	Lewis	16609 67th Court North	Loxahatchee	5/31/2025 13:49
352	Carlos	Ramos	17224 76th St. N	LOXAHATCHEE	5/31/2025 13:49
353	Deann	Davis	16030 Trafalgar Dr	Loxahatchee	5/31/2025 14:42
354	Lori	Shapiro	4060 coconut blvd	Royal palm beach	5/31/2025 14:45
355	Lisa	Sorensen	7839 140th Ave N	West Palm Beach	5/31/2025 15:23
356	Jeffrey	Kimberly	13043 54th lane n	Royal Palm Beach	5/31/2025 17:15
357	Lisa	Witlin	4750 Coconut Blvd	Royal Palm Beach	5/31/2025 17:43
358	Rhoda	Witlin	4750 Coconut Blvd	Royal Palm Beach	5/31/2025 17:44
359	Claire	Paul	15245 61st Place North	Loxahatchee	5/31/2025 17:54
360	Sandy	Lampard	60thpl n	Lox	5/31/2025 18:46
361	David	Hill	16394 e prestwich dr	Loxahatchee	5/31/2025 19:09
362	Benoit	Cloutier	14242 77th Place North	Loxahatchee	5/31/2025 19:50
363	Tina	Poltrock	6078 Hall Blvd	Loxahatchee	5/31/2025 20:29
364	Jon	Gilmore	15744 77th Place North	Loxahatchee	5/31/2025 21:49
365	Mary	Rivenburg	14790 87th St N	Loxahatchee	5/31/2025 23:14
366	Alan	Scagliarini	86 st	Loxahatchee	6/1/2025 1:57
367	Robert	Gines	7932 Seminole Pratt Whitney Rd	Loxahatchee	6/1/2025 5:35
368	Patricia	Farrell	16559 87th Ln N	Loxahatchee	6/1/2025 5:44
369	Eric	Ricker	13616 67th St N	West Palm Bch	6/1/2025 7:43
370	Douglas	Yoder	12685 73ct N.	West Palm Beach	6/1/2025 7:46
371	Victoria	yoder	12685 73ct N.	West Palm Beach	6/1/2025 7:47
372	Kaitlynn	farrell	16559 87th ln north	Loxahatchee	6/1/2025 9:00
373	Tyler	Ott	3261 sw 17th st	Okeechobee	6/1/2025 9:18
374	Allison	Walker	16194 79th Ct N	Loxahatchee	6/1/2025 9:36
375	Michael	Diascro	16893 83rd Place North	Loxahatchee	6/1/2025 9:37
376	Pamela	Beimly	14365 78th Place North	Loxahatchee	6/1/2025 10:24
377	Michael	Milstead	17724 84th Ct N	Loxahatchee	6/1/2025 11:00
378	Kim	Morrison	15818 66th Ct N	Loxahatchhee	6/1/2025 12:27
379	Kenny	Morrison	15818 66th Ct n	Loxahatchee	6/1/2025 12:30
380	BRUCE	CHALKLEY	13425 63rd Ln N	West Palm Bch	6/1/2025 13:25

Sig ID	First Name	Last Name	Address	City	Date Signed
381	Deanna	Marques-Chalkley	13425 63rd Ln N	West Palm Beach	6/1/2025 13:28
382	Mike	Dubeau		1 Loxahatchee	6/1/2025 13:44
383	Livia	Stone	16518 83rd Pl N	Loxahatchee	6/1/2025 16:02
384	Steven	Stone	16518 83rd Pl N	Loxahatchee	6/1/2025 16:13
385	Sonja	Ahrens	13461 75th Ln n	West Palm beach	6/1/2025 17:02
386	Carla	Ricker	18634 94th st north	Loxahatchee	6/1/2025 18:27
387	Julianne	Sandoval	20431 Bedu Ct	Loxahatchee	6/1/2025 18:37
388	Julian	Martinez	17624 murcott Blvd	Loxahatchee	6/1/2025 18:53
389	Kristen	Fischer	17894 73RD CT N	Loxahatchee	6/1/2025 20:07
			11320 52nd Rd N, West Palm		
390	Tyler	Turner	Beach, FL 33411, USA	West Palm Beach	6/1/2025 22:03
391	Keri	Falco	13089 88th Place North	West Palm Beach	6/2/2025 6:00
392	scott	adams	5226 140 th ave n	west palm beach	6/2/2025 6:55
393	Lisa	Haas	16260 94th St N	Loxahatchee	6/2/2025 7:51
394	Amelia	Charles	15069 86th Road N	Loxahatchee	6/2/2025 9:08
395	Anthony	Hurtado	16409 89th Pl N	LOXAHATCHEE	6/2/2025 9:20
396	Sydney	Banuelos	13804 88th Place North	West Palm Beach	6/2/2025 10:25
397	Robert	Abate	13060 61st ST N	West Palm Beach	6/2/2025 13:33
398	Nicholas	Pappas	15583 83LN N	Loxahatchee	6/2/2025 14:39
399	Janae	Hertzer	14310 83rd Lane N	Loxahatchee	6/2/2025 14:45
400	Justin	Marcoux	16439 Key Lime Blvd	Loxahatchee	6/2/2025 17:35
401	Kelly	Taylor	15702 97th Rd N	West Palm Beach	6/3/2025 0:13
402	Samuel	Fulmer	2910 doe trl	Loxahatchee	6/3/2025 9:43
403	Tamara	Rogan	17184 86th St N	Loxahatchee	6/3/2025 12:04
404	Brenda	Hoch	17933 80TH ST N	Loxahatchee	6/3/2025 12:28
405	Diana	Williams	17144 66th Ct N	Loxahatchee	6/3/2025 12:49
406	Ganamoney	Eccles	17480 Tangerine blvd	Loxahatchee	6/3/2025 13:25
407	James	Portell	13705 55th Rd N	Royal Palm Beach	6/3/2025 14:38
408	Lori	Rupp	17389 66th Ct N	Loxahatchee	6/3/2025 14:58
409	Robert	Schutzet	17746 50st n	Loxahatchee	6/3/2025 15:49
410	Timothy	Miller	17184 86th St N	Loxahatchee	6/3/2025 17:23
411	Tracie	Baugh	16359 Orange Blvd	Loxahatchee	6/3/2025 17:28
412	William	wright	15770 83rd Lane North	Loxahatchee	6/4/2025 6:20
413	Bob	McDonough	16779 Key Lime Blvd.	Loxahatchee	6/4/2025 14:07
414	Tammy	Chicoyne	16566 68TH ST N	LOXAHATCHEE	6/4/2025 15:22
415	Donna	Rauer	17434 Hamlin blvd	Loxahatchee	6/4/2025 17:57
416	Alicia	Kaye	17292 31st Road N	Loxahatchee	6/6/2025 11:16
417	Raul	Sharpe	12629 85th Rd N.	WPB	6/6/2025 16:41
418	Michele	Sharpe	12317 69th st n	West Palm beach	6/6/2025 18:26
419	Stacy Jo	Poffenbarger	13924 Key Lime Blvd	West Palm Bch	6/6/2025 22:05
420	Joshua	Cooklin	15363 77th Pl N	Loxahatchee	6/7/2025 6:56
421	Sandy	Ballantyne	12436 57 Rd N	West Palm Beach	6/7/2025 8:59
422	Sydney	Marfil	17327 Orange Grove Blvd	Loxahatchee	6/7/2025 11:25
423	Preston	Marfil	17327 Orange Grove Blvd	Loxahatchee	6/7/2025 11:27
424	Elaine	Lee	Citrus Grove Blvd.	West Palm Beach	6/7/2025 13:33
425	Kyle	Clay	13924 keylime blvd	West palm beach	6/7/2025 14:10
426	Jeffrey	Freedline	15361 64th Place North	Loxahatchee	6/7/2025 15:41
427	Carmen	Freedline	15361 64 th Place North	Loxahatchee	6/7/2025 15:45

Sig ID	First Name	Last Name	Address	City	Date Signed
428	Cindy	Rand	11714 67th Place North	West Palm Beach	6/7/2025 17:19
429	Sandra	Salsburg	1792 Calico Rd.	W. Palm Beach	6/7/2025 17:45
430	Queenester	Nieves	8692 140 avenue north	West Palm Beach	6/7/2025 17:48
431	David	Coursen	16192 73rd Ct N	Loxahatchee	6/7/2025 18:45
432	Robert	Ruff	17722 91st Pl N	Loxahatchee	6/7/2025 23:09
433	Sandy	Lampard	60thpl n	Lox	6/8/2025 7:14
434	Sherri	Trainor	69th St North	Loxahatchee	6/8/2025 8:18
435	Alyssa	Knapton	12876 71st Place North	West Palm Beach	6/9/2025 8:14
436	Alana	Brown	2082 Reston Cir	Royal Plm Bch	6/9/2025 10:00
437	Patty	Kirk	16106 88th Road North	Loxahatchee	6/9/2025 10:03
438	Renee	Hamillton	17934 Temple Blvd	Lox	6/9/2025 11:10
439	Maria	Serna	13919 61ST LN N	West Palm Beach	6/9/2025 13:11
440	Karla	Shackelford	F.S. 119	The Acreage	6/11/2025 7:23
441	Lourdes	Medina-Diaz	17183 80th St N	Loxahatchee	6/11/2025 9:03
442	Gregory	Hoyt	15810 82nd Street North	Loxahatchee	6/11/2025 14:58
443	Julie	Risk	15438 96th Ln N	West palm beach	6/15/2025 6:44
444	Larry	Wasilewski	6718 Royal Palm Beach Blvd.	West Palm Beach	6/17/2025 14:43
445	Max	Queen	13355 56th Place N	West Palm Beach	6/17/2025 14:45
446	Catherine	Roche	16731 78 Road N	Loxahatchee	6/17/2025 15:08
447	Kayla	Pollino	11098 61st St N	West Palm Bch	6/17/2025 15:09
448	Kelly	Pollino	11098 61st St N	West Palm Bch	6/17/2025 15:10
449	Anthony	Pollino	11098 61st St N	West Palm Bch	6/17/2025 15:11
450	Katherine	Graham	11098 61st St N	West Palm Bch	6/17/2025 15:12
451	jesse	beaudry	16722 66th ct n	loxahatchee	6/17/2025 15:12
452	joseph	beaudry	16722 66th ct n	loxahatchee	6/17/2025 15:14
453	Marissa	Alfano	16441 87th LN N	Loxahatchee	6/17/2025 15:28
454	Susan	Halpin	7641 Apache Blvd	Loxahatchee	6/17/2025 15:47
455	Sarie	Devine	16105 93rd Rd N	Loxahatchee	6/17/2025 15:47
456	Suzette	Preble	13747 50th Pl N	West Palm Bch	6/17/2025 15:50
457	Melissa	Jordan Thackeray	11988 51st Ct N	West Palm Bch	6/17/2025 15:51
458	Salvatore	Ronga	12248 76th Rd N	West Palm Bch	6/17/2025 15:51
459	Joanna	Jodko	3561 Grande Rd	Loxahatchee	6/17/2025 15:58
460	Tracy	Bounds-Dalton	13839 74th St N	West Palm Bch	6/17/2025 16:06
461	Jaime	Burke	16355 E Lancashire Drive	Loxahatchee	6/17/2025 16:07
462	adriana	klinedinst	16476 70th Street North	Loxahatchee	6/17/2025 16:11
463	Ashley	McGeeney	18604 49th St N	Loxahatchee	6/17/2025 16:14
464	Raymond	Craig	12180 56th place north	West palm beach	6/17/2025 16:16
465	Blanca	Caputo	16855 92ND LN N	LOXAHATCHEE	6/17/2025 16:19
466	GLENN	M CAPUTO	16855 92nd Lane North	Loxahatchee, FL 33470, I	6/17/2025 16:20
467	Michelle	Serpenti	13715 71st Pl N	West Palm Bch	6/17/2025 16:21
468	Scott	Dawe	13844 Citrus Grove Blvd	West Palm Beach	6/17/2025 16:34
469	Angela	Walton	16298 89th Pl N	Loxahatchee	6/17/2025 16:36
470	Amanda	Carroll	11161 40th Street North	West Palm Beach	6/17/2025 16:37
471	Nancy	Mandera	17891 84th Ct N	Loxahatchee	6/17/2025 17:26
472	Csaba	Szeles	17838 33RD RD N	The Acreage	6/17/2025 17:28
473	Alexander	Aghyarian	16436 91st Pl N	Loxahatchee	6/17/2025 17:31
474	Gracie	Wong	16233 75th Pl N	Loxahatchee	6/17/2025 17:50
475	Georgia	Mcgeeney	18604 49th st n	Loxahatchee	6/17/2025 17:53

Sig ID	First Name	Last Name	Address	City	Date Signed
476	Richar	Avon	13126 77th Pl N	West Palm Beach	6/17/2025 17:55
477	Kim	Quarles	14767 62nd ct n	Loxahatchee	6/17/2025 17:58
478	Tami	Sullivan	93rd Road North	Loxahatchee	6/17/2025 17:58
479	Trinity	Hunter	16140 E. Stallion Dr.	Loxahatchee	6/17/2025 18:04
480	Richard	Sullivan	93rd road north	Loxahatchee	6/17/2025 18:13
481	Vicki	Yochum	18563 49 Street North	Loxahatchee	6/17/2025 18:14
482	Rose	Amberson	13133 57th Pl N	West Palm Beach	6/17/2025 18:18
483	Amber	Percoco	1401 NW 58th Ave	Margate	6/17/2025 18:30
484	Denise	Zukauskas	17675 66th ct N	LOXAHATCHEE	6/17/2025 18:31
485	Dan	Zukauskas	17675 66th Ct N	Loxahatchee	6/17/2025 18:35
486	Christina	Pagiazitis	12725 58th Pl N	WEST PALM BCH	6/17/2025 18:40
487	David	Tiderman	12725 58th Pl N	WEST PALM BCH	6/17/2025 18:41
488	Deborah	Winters	16800 Orange Blvd	Loxahatchee	6/17/2025 18:48
489	Kristal	Weatherby	68th ct N	Loxahatchee	6/17/2025 18:55
490	Holly	Yochum	15709 78th place north	Loxahatchee	6/17/2025 18:55
491	Andrew	Eggert	93rd Road	Loxahatchee	6/17/2025 19:05
492	Russ	Mittler	18930 43rd Rd N	Loxahatchee	6/17/2025 19:06
493	Christina	Eggert	17318 93rd Rd N	Loxahatchee	6/17/2025 19:07
494	Tyler	Fuller	110 Lexington Dr	Royal Plm Bch	6/17/2025 19:10
495	Peggy	Vasco	17316 81st Ln N	Loxahatchee	6/17/2025 19:10
496	Amanda	Norton	1623 Bayridge Place	Wellington	6/17/2025 19:11
497	Daisy	Nelson	16217 Hamlin Blvd	Loxahatchee	6/17/2025 19:17
498	Scott	Nelson	16217 Hamlin Blvd	Loxahatchee	6/17/2025 19:19
499	Erika	Zemaitis	15782 92nd Ct N	West Palm Beach	6/17/2025 19:23
500	Barbara	Medeiros	16379 66 Court N	Loxahatchee	6/17/2025 19:39
501	Brian	Gruber	2220 Oakmont Drive	RIVIERA BEACH	6/17/2025 19:40
502	Ali	Shumate	15630 99th St N	West Palm Bch	6/17/2025 19:43
503	KEITH	ALEXANDER	14368 72nd Ct N 16177 Hamlin Blvd,	Loxahatchee	6/17/2025 19:45
504	MICHELLE	FLOYD	Loxahatchee, FL 33470	Loxahatchee	6/17/2025 20:01
505	Nicolle	Mckenna	6156 Seven Springs Blvd	Greenacres	6/17/2025 20:02
506	Dallas	Butler	14504 67th St N	Loxahatchee	6/17/2025 20:02
507	Stephanie	Wransky	16143 88th rd n	Loxahatchee	6/17/2025 20:24
508	Linda	Ruff	17722 91st Pl N	Loxahatchee	6/17/2025 20:25
509	Carnell	Anderson	16143 88th rd n	Loxahatchee	6/17/2025 20:25
510	Nadeen	Retzler	16183 87th Ln N	Loxahatchee	6/17/2025 20:30
511	Kai	Trento	17118 Gulf Pine Cir	Wellington	6/17/2025 20:31
512	Marcela	Lombana	2485 Stonegate Dr	Wellington	6/17/2025 20:36
513	Theresa	Deimel	14120 89th place n	Loxahatchee	6/17/2025 20:40
514	Jennifer	Hager	13048 56th Pl N	West Palm Bch	6/17/2025 20:41
515	Terese	Hall	124 Seminole Lakes Drive	Royal Palm Beach	6/17/2025 20:47
516	Edna	Bonelli-Rodriguez	89th Pl N 16662	Loxahatchee	6/17/2025 20:48
517	Kathy	Mathieu	83rd Lane	Loxahatchee	6/17/2025 20:50
518	Phoebe Weseley	Weseley	2522 Windsor Way Ct	Wellington	6/17/2025 20:56
519	Jamie	Klements	3575 161st Ter N	Loxahatchee	6/17/2025 20:57
520	Brian	Shockey	Hall Blvd	Loxahatchee	6/17/2025 20:58
521	Jamie	Gibson	15429 86th Rd N	Loxahatchee	6/17/2025 21:01
522	Debi	Maloney	2984 DEER RUN TRL	Loxahatchee	6/17/2025 21:03

Sig ID	First Name	Last Name	Address	City	Date Signed
523	JR	Hayes	8615 Hall Blvd	Loxahatchee	6/17/2025 21:08
524	Christopher	Smith	11035 66th St N	West Palm Bch	6/17/2025 21:15
525	Erin	Gallagher	13104 Quiet Woods Rd	Wellington	6/17/2025 21:20
526	Paul	Louteiro	11382 Orange Grove Blvd	West Palm Beach	6/17/2025 21:30
527	Lindsey	Ilarraza	10554 Aquarius Ln	Royal Plm Bch	6/17/2025 21:42
528	Simon	Nizri	14860 Rolling Rock Pl	Wellington	6/17/2025 21:45
529	William	McCue	11564 Whitemarsh Dr	Wellington	6/17/2025 21:54
530	Sandra	Tabares	16701 E Aintree Dr	Loxahatchee	6/17/2025 22:05
531	Betty	Eldridge	16032 E Pleasure Dr	Loxahatchee	6/17/2025 22:09
532	Michael	Sitko	68th ct n	Loxahatchee	6/17/2025 22:32
533	Monica	Barrios	15428 83rd Ln N	Loxahatchee	6/17/2025 23:14
534	Artina	Nowlin	12139 58th Pl N	West Palm Bch	6/17/2025 23:24
535	Alison	Mantua	9225 Crestview Circle	Pbg	6/17/2025 23:27
536	Faye	Mejia	3000 NE 16th Ave AptD102	Oakland park	6/17/2025 23:38
537	Marcy	Mills-Matthews	17223 88TH RD N	LOXAHATCHEE	6/17/2025 23:49
538	Izabella	Marino	16300 Hamlin Blvd	Loxahatchee	6/18/2025 2:06
539	Irene	Oknewski	5935 208th Drive	Loxahatchee, FL 33412	6/18/2025 3:23
540	Matt	Fuss	17024 89th Pl N	Loxahatchee	6/18/2025 3:25
541	Yamila	de la cruz	11853 57th Rd N	West Palm Bch	6/18/2025 5:41
542	Margaret	Davino	16972 W Duran Bl	Loxahatchee	6/18/2025 6:18
543	Matt	Stallman	11191 54th Street North	West Palm Beach	6/18/2025 6:35
544	Tiffany	Simpson	18563 49th St N	Loxahatchee	6/18/2025 7:19
545	Lauren	OFarrell	12402 Hamlin Blvd	West Palm Bch	6/18/2025 7:39
546	Darlene	Serrano	13432 66th St N	West Palm Bch	6/18/2025 7:44
547	Pamela	Bloom	15134 78th Pl N	Loxahatchee	6/18/2025 7:45
548	Risa	McCarraher	6569 Park Ln E	Lake Worth	6/18/2025 7:59
549	Terry	Jones	4271 Coconut Blvd	West Palm Beach	6/18/2025 8:24
550	Todd	Kovi	13950 66th ST N	West Palm Beach	6/18/2025 8:25
551	Nicholas	Bobilin	63rd rd n	Loxahatchee	6/18/2025 8:28
552	Mike	Melvin	61st n	Loxahatchee	6/18/2025 8:31
553	Cheryl	Domato	15780 Tangerine Blvd	LOXAHATCHEE	6/18/2025 8:45
554	Patricia	Bachi	2370 Newbury Ct	Wellington	6/18/2025 8:46
555	Laura	Melvin	16795 61st Pl N	Loxahatchee	6/18/2025 9:04
556	Suzanne	Kovi	13950 66th North	West Palm Beach	6/18/2025 9:58
557	Anne	White	16031 E Harlena Rd	Loxahatchee	6/18/2025 12:22
558	Elias	Hernandez	1256 S Military Trail	Deerfield Beach	6/18/2025 12:52
559	Margarita	Uribe	1834 NW 167th Ave	Pembroke Pines	6/18/2025 12:54
560	yanina	Tenenbaum	4678 Island Reef Dr	Wellington	6/18/2025 13:04
561	Jeff	Hoch	17933 80th St North	Loxahatchee	6/18/2025 13:38
562	Kiley	gasser	16281 E Lancashire Drive	LOXAHATCHEE	6/18/2025 13:40
563	Rose	Kramer	7785 Maywood Crest Dr	Palm Bch Gdns	6/18/2025 13:49
564	L	Irizarry	66th St N	Loxahatchee	6/18/2025 14:14
565	Babette	Herron	15591 75th lane n	Loxahatchee	6/18/2025 14:29
566	Cristine	Perdomo	16476 93rd Rd N	Loxahatchee	6/18/2025 14:42
567	Leo	Relin	14345 86th Rd n	Loxahatchee	6/18/2025 14:44
568	Chase	Downs	17933 80th St N	Loxahatchee	6/18/2025 15:01
569	Amber	Maas	16355 E Derby Dr	Loxahatchee	6/18/2025 15:13
570	Nadege	Maldonado	15403 79th ct n	Loxahatchee	6/18/2025 15:23

Sig ID	First Name	Last Name	Address	City	Date Signed
571	mike	rizzo	12364 82nd ln n	West Palm Beach	6/18/2025 15:51
572	Kelly	Smith	17285 41st Rd N	Loxahatchee	6/18/2025 16:16
573	Kalee	Suftko	12895 88th Place North	West Palm Beach	6/18/2025 16:16
574	Jessica	blanco	111 Prado St	Royal Plm Bch	6/18/2025 16:17
575	Damon	Mangual	9575 Apache Bld	West Palm Beach	6/18/2025 16:36
576	April	Goodman	15530 74th St N	Loxahatchee	6/18/2025 16:48
577	Patricia	Gustafson	12113 Indian Mound Rd Fl	Wellington	6/18/2025 16:58
578	Jolene	Brown	15809 80th Lane North	LOXAHATCHEE	6/18/2025 17:03
579	Lloyd	Smith	78th place no	Loxahatchee	6/18/2025 17:05
580	Edward	Brunner	12210 Orange Grove Blvd	Royal palm beach	6/18/2025 18:04
581	James	Aspenwall	Avocado Boulevard	West Palm Beach	6/18/2025 18:35
582	Heidi	Francis	18354 44TH PL N	Loxahatchee	6/18/2025 19:27
583	Lukas	Aleksiejuk	17891 75th pl n	Loxahatchee	6/18/2025 20:26
584	Marta	Aleksiejuk	17891 75th Place North	Loxahatchee	6/18/2025 20:26
585	James	Philpot	16181 90th St. N.	Loxahatchee	6/18/2025 20:50
586	Paula	Philpot	16181 90th St N	Loxahatchee	6/18/2025 20:53
587	Joseph	Miller	16181 90th St N	Loxahatchee	6/18/2025 20:54
588	Brigitte	Fortier	15286 92nd Ct. N	West Palm Beach	6/18/2025 20:59
589	Carrie	Otto	16473 92nd Ln N	Loxahatchee	6/18/2025 21:19
590	Charles	Otto	16473 92nd Ln N	Loxahatchee	6/18/2025 21:20
591	leslie	piester	137 kensington way	wellington	6/18/2025 21:45
592	Lenny	Wong	17967 64th Place North	Loxahatchee	6/19/2025 0:20
593	Chad	Roland	92nd Ct N	West Palm Beach	6/19/2025 5:45
594	Deborah	Arrieta	1543 Fiddlewood Ct.	Royal Palm Beach	6/19/2025 5:49
595	Donna	Acevedo	13761 87TH ST N	WEST PALM BEACH	6/19/2025 6:28
596	Edward	Lustigman	16329 72 RD N	Loxahatchee	6/19/2025 7:42
597	Virginia	Davis	13175 51st Place North	West palm beach	6/19/2025 8:29
598	Rick	Warner	17185 Valencia Blvd	Loxahatchee	6/19/2025 8:33
599	Cheryl	Lay Powell	17685 Valencia Blvd	Loxahatchee	6/19/2025 8:42
600	Lisette	Riveira	15096 78th Pl N	Loxahatchee	6/19/2025 8:46
601	Christine	Rigg	12877 79TH CT N	West Palm Beach	6/19/2025 8:50
602	Michael	Marano	8717 Oldham Way	Palm Beach Gardens	6/19/2025 8:54
603	Cullen	Gasser	16281 Lancashire Dr E	Loxahatchee	6/19/2025 9:03
604	Jacqueline	Kerley	17728 70th St N	Loxahatchee	6/19/2025 9:06
605	Allen	Brinkley	16142 90th st	Loxahatchee	6/19/2025 9:06
606	Niranjan	Shah	118849 Blackwoods lane	Palm beach garden	6/19/2025 9:24
607	Veronica	Barillas	12521 83rd Ln N	The Acreage	6/19/2025 9:35
608	Sarah	Feller	15820 79th Ct N	Loxahatchee	6/19/2025 9:38
609	Alexandro	Sanchez	16104 90th Street North	Loxahatchee	6/19/2025 9:40
610	Veronica	Rubio	16104 90th Street North	Loxahatchee	6/19/2025 9:41
611	Charlie	ocello	16105 90th Street North	Loxahatchee	6/19/2025 9:53
612	Richard	Marous	11256 47th Rd North	West Palm Beach	6/19/2025 9:56
613	Carl	Valentovic	14537 72nd Court North	Loxahatchee	6/19/2025 10:19
614	Chris	Smith	15925 88pl n	Loxahatchee	6/19/2025 10:24
615	Rebecca	Ocello	16105 90th st N	Loxahatchee	6/19/2025 10:46
616	Diana	Demarest	18849 Sycamore Drive West	Loxahatchee	6/19/2025 11:19
617	Christina	Selway	13915 22nd Rd N	Loxahatchee	6/19/2025 11:49
618	Susan	Candela	13650 62nd Court N	WPB	6/19/2025 11:58

Sig ID	First Name	Last Name	Address	City	Date Signed
619	Juanita	Molina	75th Lane N	Loxahatchee	6/19/2025 12:03
620	Lindsay	Maldonado	18978 42nd Rd N	Loxahatchee	6/19/2025 13:16
621	Laurie	Davis	16785 HAMLIN BLVD	Loxahatchee	6/19/2025 13:22
622	Gary	Roy	14537 Orange Blvd	Loxahatchee	6/19/2025 13:52
623	Ling	Fan	17411 41st Rd N	Loxahatchee	6/19/2025 14:32
624	Kimberly	David	18520 42nd rd N	Loxahatchee	6/19/2025 14:55
625	Miles	Stanley	13920 67th St N	West Palm Bch	6/19/2025 15:20
626	Michelle	Davis	91st Pl N	Loxahatchee	6/19/2025 15:22
627	Melina	ADUE	92 pl n	Loxahatchee	6/19/2025 15:23
628	Adam	Wald	17105 67TH CT N	Loxahatchee	6/19/2025 15:41
629	Kyle	Drexler	13698 61st St N	West Palm Beach	6/19/2025 16:22
630	Stewart	Grow	18725 42nd Rd N	Loxahatchee	6/19/2025 17:10
631	Amanda	Wetzel	12778 67th St N	West Palm Beach	6/19/2025 18:30
632	Kelly	Swint	15426 82nd Ln N	The Acreage	6/19/2025 19:18
633	Alicia	Grace	6723 Park Ln E	Lake Worth	6/19/2025 20:59
634	Krissy	Webb	9827 Grapeview Blvd	West Palm Beach	6/19/2025 21:23
635	Norka	Raxach	2429 Country Golf Drive	WELLINGTON	6/19/2025 22:24
636	Isabella	Raxach	2429 Country Golf Drive	WELLINGTON	6/19/2025 22:27
637	Dana	Caplan	13660 Orange Grove Blvd	West Palm Beach	6/19/2025 22:32
638	Valerie	Reitz	17149 murcott blvd	loxahatchee	6/19/2025 23:56
639	Brenda	Bekkers	15095 Key Lime Blvd	Loxahatchee	6/20/2025 4:14
640	Mauricio	Silva	15133 66th ct n	Loxahatchee	6/20/2025 6:52
641	Melissa	Ellis	4749 Avocado Blvd	West Palm Beach	6/20/2025 7:36
642	Margarita	Femminella	11545 49th Street N	Royal Palm Beach	6/20/2025 7:37
643	Bk	Young	16059 E Alan Black Blvd	Loxahatchee	6/20/2025 8:50
644	Stephanie	Herrunzie	11614 67th pl n	West Palm Beach	6/20/2025 9:20
645	Rajendra	Haryprasad	12793 77th Place North	West Palm Beach	6/20/2025 10:37
646	Kenneth	Vandeputte	11095 Persimmon Blvd	Royal Palm Beach	6/20/2025 10:39
647	Susan	Lowe	Williams Dr	Loxahatchee	6/20/2025 10:50
648	Kristi	Knight-Sandner	CITRUS GROVE BLVD	LOXAHATCHEE	6/20/2025 11:22
649	Andrea	Fischer	13392 69th st n	West Palm beach	6/20/2025 11:56
650	Yvonne	Stockton	18266 Murcott Blvd	Loxahatchee	6/20/2025 12:15
651	Charlotte	Moon	4240 121st Terrace North	Royal Palm Beach	6/20/2025 12:40
652	Andrew	Mcfarlane	5854 130th Ave N	West Palm Beach	6/20/2025 15:37
653	Janice	Aponte	82nd Road N	Loxahatchee	6/20/2025 16:20
654	David	Aponte	16664 82nd td n	Loxahatchee	6/20/2025 16:22
655	Rebekah	Lopez	12860 55th Rd N	The Acreage	6/20/2025 17:23
656	Brian	Fitzgerald	16897 77th Ln N	Loxahatchee	6/20/2025 19:07
657	Savannah	Goss	17270 69th St N	Loxahatchee	6/20/2025 19:46
658	Dianelis	Ruiz	16969 86th St N	Loxahatchee	6/20/2025 20:15
659	Hans	Konter	16299 84th Ct N	Loxahatchee	6/20/2025 21:16
660	Stephanie	Phillips	11207 Thyme Drive	Palm Beach Gardens	6/20/2025 21:17
661	Bob	Kirk	16106 88th Road North	Loxahatchee	6/20/2025 22:04
662	Erika	Rhodes	13080 68th St N	West Palm Beach	6/20/2025 23:59
663	Shane	Nichols	13924 Key Lime Blvd	West Palm Beach	6/21/2025 2:38
664	David	Finkley	13219 59th Cr. N	Royal Plan Beach	6/21/2025 7:39
665	Deana	hoenich	16030 Grand National Dr E	Loxahatchee	6/21/2025 8:18

Sig ID	First Name	Last Name	Address	City	Date Signed
666	Amarilis	Bruscino	17690 76 st n	Loxahatchee	6/21/2025 8:36
667	Jennifer	DeSario	15925 88th Pl N	Loxahatchee	6/21/2025 12:32
668	Daniela	Mundik	16934 76Th St n	Loxahatchee	6/21/2025 13:26
669	Eric	Rivera	16934 76th St N	Loxahatchee	6/21/2025 13:29
670	Scott	Manzi	4570 COCONUT BLVD	West Palm Bch	6/21/2025 18:31
671	T	Skoran	12211 Orange Grove Blvd	West Palm Beach	6/22/2025 3:30
672	Maria	Hill	9033 Honeywell Road	Lake Worth	6/22/2025 13:43
673	maureen	brennan	13481 fountain view blvd	Wellington	6/22/2025 17:46
674	Kim	Eck	94th st n	Loxahatchee	6/22/2025 17:57
675	Sumintra	Persaud	42nd rd N	Loxahatchee	6/22/2025 19:32
676	Mahindranauth	David	42nd rd N	Loxahatchee	6/22/2025 19:33
677	Gregg	Miller	16234 75th Pl N	Loxahatchee	6/23/2025 8:21
678	James	Wood	13527 54th ST N	West Palm Beach. Fl	6/23/2025 10:00
679	Kathleen	ONeal	7400 MANDARIN BLVD	Loxahatchee	6/23/2025 12:53
680	Christopher	Wilks	16366 86th St N	The Acreage	6/23/2025 14:14
681	Robert	Ciceroni	7504 GRAPEVIEW BLVD	Loxahatchee	6/23/2025 17:25
682	Michael	Liebenow	16407 81st Lane N	Loxahatchee, West Palm	6/23/2025 22:07
683	Chuck	Marquis	10692 Grande Blvd	West Palm Bch	6/24/2025 14:19
684	Steve	Rizzo	13433 61st Ln N	West Palm Beach	6/24/2025 17:56
685	Cathy	Zenenberg	10165 Sand Cay	West Palm Beach	6/24/2025 17:58
686	Melissa	Rizzo	13433 61st Lane North	West Palm Beach	6/24/2025 17:58
687	Angela	Bentrim	16783 82nd road north	Loxahatchee	6/24/2025 20:58
688	NICOLE	WALD	17105 67TH COURT NORTH	LOXAHATCHEE	6/24/2025 21:22
689	Olen	Taylor	14900 86th RD N	Loxahatchee	6/24/2025 23:30
690	Mary	Kovacich	16140 Brighton Drive East	Loxahatchee	6/25/2025 16:23
691	Suzanne	Fejes	11449 68TH ST N	West Palm Beach	6/25/2025 17:31
692	Karen	Sands	1426 Thornbank Lane	Royal Palm Beach	6/26/2025 6:16
693	Robert	Blount	13017 49th St N	WPB	6/26/2025 6:53
694	Carina	Nunez	17686 77th Ln N	Loxahatchee	6/26/2025 8:55
695	Timothy	Tullock	17715 38th road North	Loxahatchee	6/27/2025 6:59
696	June	Stewart	12527 68TH ST N	WEST PALM BEACH	6/27/2025 8:43
697	D	Morrison	8518 Hall Blvd	Loxahatchee	6/27/2025 9:43
698	Vladimir	Senkov	15424 82ND ST N	Loxahatchee	6/27/2025 14:41
699	Kristina	Senkova	15424 82nd st N	Loxahatchee	6/27/2025 14:42
700	Michael	Yacobellis	12690 66th St N	West Palm Beach	6/27/2025 15:33
701	Jason	Mucinski	17316 87th Ln N	Loxahatchee	6/27/2025 16:53
702	William	Shea	4637 126Dr. North	West Palm Beach	6/27/2025 18:51
703	Anna	Bell	5498 Quiet Lake Place	Westlake	6/28/2025 8:58
704	Aneeza	Haryprasad	77th pl N	West Palm Beach	6/28/2025 11:15
705	Eric	McAlister	16894 Murcott Blvd	Loxahatchee	6/28/2025 18:53
706	Colleen	Hafer	16081 71st lane n	Loxahatchee	6/29/2025 1:22
707	Kathleen	Clutter	15665 95th Lane N.	West Palm Beach	6/29/2025 8:11
708	Scott	Clutter	15665 95th Ln N	West Palm Beach	6/29/2025 9:26
709	Mark	Fisher	4620 Island Reef Drive	Wellington	6/29/2025 17:44
710	Donald	Morgan	15575 88th pl n	Loxahatchee	6/30/2025 15:57
711	Lidia	Baker	15277 Temple Blvd	Loxahatchee	6/30/2025 17:55
712	Michael	Baker	15277 Temple Blvd	Loxahatchee	6/30/2025 17:57
713	Christine	Baker	15277 Temple Blvd	Loxahatchee	6/30/2025 17:58

Sig ID	First Name	Last Name	Address	City	Date Signed
714	Jodi	Ulett	15774 82nd Lane North	Loxahatchee	7/1/2025 18:07
715	Stephen	Gabriel	16609 78 Rd N	Loxahatchee	7/2/2025 16:51
716	Alex	Rhodes	16280 Burns Dr E	Loxahatchee	7/2/2025 23:22
717	Cynthia	English	16306 61st Place North	Loxahatchee	7/4/2025 9:13
718	Marcia	Pratt	14888 64th north	Loxahatchee	7/5/2025 16:55
719	Janine	Lyons	15147 72nd CT N	Loxahatchee	7/6/2025 10:44
720	Tom	Lyons	15147 72nd CT N	Loxahatchee	7/6/2025 11:31
721	John	ludwig	16106 89th PL N	Loxahatchee	7/8/2025 13:16
722	Brandon	Welty	16217 93rd Rd N	Loxahatchee	7/8/2025 14:04
723	Taylor	Welty	16217 93rd Rd N	Loxahatchee	7/8/2025 14:10
724	Brandon	Welty	16217 93rd Rd N	Loxahatchee	7/8/2025 14:12
725	Elliot	Hutchinson	17319 Murcott Blvd	Loxahatchee	7/8/2025 15:22
726	Treasa	Hanzlik	15249 66th Ct N	Loxahatchee	7/8/2025 15:49
727	Ken	Kornheisl	17040 70TH ST N	Loxahatchee	7/8/2025 16:42
728	Jennifer	Fletcher	12896 58th Place North	W.P.B.	7/8/2025 17:14
729	MARK	HAWKINS	14900 89th PL N	Loxahatchee	7/8/2025 18:14
730	Kristin	Malicott	18557 92ND LN N	LOXAHATCHEE	7/9/2025 9:21
731	Lisa	Hillis	67TH CT. N,	LOXAHATCHEE	7/9/2025 12:36
732	Roger	Bollier	16369 87TH LN N	LOXAHATCHEE	7/16/2025 7:18
733	Chris	HOPPER	13049 40th St N	Royal Palm beach	7/17/2025 8:16
734	Brian	Hermany	12326 87th St N	West Palm Beach	7/17/2025 8:28
735	Yomara	Rivera	16734 91ST PL N	Loxahatchee	7/17/2025 8:40
736	Thiody	Casado	16734 91ST PL N	Loxahatchee	7/17/2025 8:41
737	Peter	Sepot	12144 61st St N	West Palm Beach	7/17/2025 9:03
738	Richard	Boyette	4031 Coconut Blvd	Royal Palm Beach	7/17/2025 9:48
739	Amanda	Onda	12650 Orange Blvd	WEST PALM BEACH	7/17/2025 10:33
740	Melanie	Hurt	15326 69th Ct N	Loxahatchee	7/17/2025 11:31
741	Steve	Accomando	Protected	Loxahatchee	7/17/2025 13:43
742	Danielle	Weis	20222 Antoinette St	Loxahatchee	7/17/2025 16:24
743	Susan	Klarich	Tangerine bl	Loxahatchee	7/17/2025 16:34
744	Luciano	Delmoro	12527 66th st n	West palm beach	7/17/2025 16:54
745	Cindylou	Ponga	17211 38th Ln N	Loxahatchee	7/17/2025 19:53
746	Tina	Smith	Boynton Beach	Boynton beach	7/18/2025 21:20
747	Brittany	Haslett	14578 67th St N	Loxahatchee	7/19/2025 9:01
748	MERCEDES	LANGDALE	17815 73rd Court North	Loxahatchee	7/19/2025 18:52
749	MICHAEL	LANGDALE	17815 73rd Court North	Loxahatchee	7/19/2025 18:53
750	Kari	Brady	91st Place N	Loxahatchee	7/19/2025 20:09
751	Nicolas	Brady	91st PL N	Loxahatchee	7/19/2025 20:11
752	Aimee	Salzlein	12484 67th St N	West Palm Bch	7/19/2025 20:18
753	Sandra	Taylor	16888 W Stallion Dr	Loxahatchee	7/19/2025 22:25
754	Lonnie	Taylor	16888 W Stallion Dr	Loxahatchee	7/19/2025 22:27
755	Laura	Engel	90th Street N	Loxahatchee	7/19/2025 23:06
756	Nathan	Catsman	11581 68th St N	West Palm Beach	7/19/2025 23:53
757	Bryan	Robbins	17604 Orange Blvd	Loxahatchee	7/20/2025 0:27
758	Joanne	Graves	8028 180th Ave N	Loxahatchee	7/20/2025 7:37
759	Susan	Terzo	7396 Banyan Blvd	loxahatchee	7/20/2025 8:38
760	Lori	Shaw	Citrus Grove Blvd	WPB	7/20/2025 10:57
761	Bill	Shaw	Citrus Grove Blvd	WPB	7/20/2025 10:58

Sig ID	First Name	Last Name	Address	City	Date Signed
762	Quinn	Goeken	7858 Arbor Crest Way	Palm Beach Gardens	7/20/2025 11:01
763	Kelley	Knotts	13795 46th Ct N	The Acreage	7/20/2025 12:04
764	David	Ditosti		14842 Wpb	7/20/2025 12:49
765	Armand	Lopez	5045 SE Devenwood way	Stuart	7/20/2025 16:02
766	Janine	Pekora	97th Rd N	West Palm Beach	7/20/2025 18:40
767	Glen	Meyer	14727 94th Street North	West Palm Beach	7/21/2025 5:08
768	Elisabeth	Meyer	14727 94th Street North	West Palm Beach	7/21/2025 5:11
769	MICHELE	BOBINSKI	17454 47th Court N	LOXAHATCHEE	7/21/2025 6:17
770	Abe	Bobinski	17454 47th Ct N	Loxahatchee	7/21/2025 6:18
771	Josh	Gentry	17769 66th Ct N	Loxahatchee	7/21/2025 6:52
772	Kim	Gentry	17769 66th Ct N	Loxahatchee	7/21/2025 6:54
773	Marcio	Takahashi	14135 82nd Street North	Loxahatchee	7/21/2025 8:34
774	Hilda	Takahashi	14135 82nd Street North	Loxahatchee	7/21/2025 8:35
775	Helene	Luppowitz	8080 Banyan Blvd.	Loxahatchee	7/21/2025 9:53
776	Carmine	Testa	16898 75th Pl N	LOXAHATCHEE	7/21/2025 11:03
777	Debra	Steigerwald	17914 41st Rd. NO.	Loxahatchee	7/21/2025 11:35
778	Richard	Luppowitz	Banyan blvd	Loxahatchee	7/21/2025 13:01
779	bruce	woods	13925 55th rd	West Palm Beach	7/21/2025 15:42
780	Lisa	Simpson	9176 190th St N	Loxahatchee	7/21/2025 17:37
781	EILEEN	CHAPMAN	1130 Lake Shore Drive	Lake Park	7/21/2025 17:44
782	michelle	macy	14538 76th Rd N	Lox	7/22/2025 7:17
783	Ahmed	Sheikh	18303 90th St N	Loxahatchee	7/22/2025 8:00
784	Stephen	Insalaco	17888 69th	Loxahatchee	7/22/2025 9:02
785	Angela	Jones	16560 87th Lane North	Loxahatchee	7/22/2025 10:05
786	Alexandria	Fischer	15744 60th Place North	Loxahatchee	7/22/2025 11:32
787	Daniel	Pierce	15882 Citrus Grove Blvd	Loxahatchee	7/22/2025 11:49
788	Elizabeth	Biaggi	15436 73rd St. N	LOXAHATCHEE	7/22/2025 12:01
789	Colin	A Fitzsimmons	17608 86th Street North	Loxahatchee	7/22/2025 12:18
790	Rob	Gallo	13886 86th Rd N	West Palm Beach	7/22/2025 12:29
791	Danielle	Kuhl	15215 72nd c north	Loxahatchee	7/22/2025 12:53
792	David	Sams	15474 Key Lime Boulevard	loxahachee	7/22/2025 12:54
793	Bonnie	McKay	11257 49th Street N	WEST PALM BCH	7/22/2025 13:10
794	Tammy	Farias	14940 Wildwood Circle	loxahatchee	7/22/2025 15:17
795	Bosco	Farias	14940 Wildwood Cir	loxahatchee	7/22/2025 15:19
796	Catherine	Adriance	11097 63rd Lane North	West Palm Beach	7/22/2025 16:26
797	Michael	Garrity	13705 Orange Grove Blvd	West Palm Beach	7/22/2025 16:45
798	Olga	Cerqueira	13705 Orange Grove Blvd	West Palm Beach	7/22/2025 16:46
799	Victor	Cerqueira	13705 Orange Grove Blvd	West Palm Beach	7/22/2025 16:47
800	Elizabeth	Garrity	13705 Orange Grove Blvd	West Palm Beach	7/22/2025 16:48
801	Freda	Seago	15811 88th Pl N	Loxahatchee	7/22/2025 17:15
802	Eileen	Becker	13252 76th Road North	west palm beach	7/22/2025 17:15
803	Everett	Mitchell	17072 94TH ST N	LOXAHATCHEE	7/22/2025 17:20
804	Mary	De Rosa	4570 127th Trl N	WPB	7/22/2025 18:04
805	dawn	sobik	18930 40th run north	Loxahatchee	7/22/2025 19:15
806	Andrew	Bernbaum	13127 82nd St. N	West Palm Beach	7/22/2025 20:03
807	Margarita	Zambrano	11647 67th Place North	West Palm Beach	7/22/2025 20:06
808	Katelyn	Hewitt	12568 63RD LN N	WEST PALM BCH	7/22/2025 20:07
809	Nicole	Karuzas	14620 96th Ln N	West Palm Beach	7/22/2025 20:37

Sig ID	First Name	Last Name	Address	City	Date Signed
810	Josh	Karuzas	14620 96th	West palm beach	7/22/2025 20:46
811	Toni	Cavazos	Prado Blvd	Loxahatchee	7/22/2025 21:02
812	Maria	Swena	61 st	West Palm Beach	7/22/2025 21:36
813	Alejandro	Pointe	72nd	Loxahatchee	7/22/2025 21:37
814	David	Viola	17327 46TH CT N	Loxahatchee	7/22/2025 22:54
815	Patricia	Santiago	16069 90th St N	Loxahatchee	7/23/2025 0:45
816	Michael	Sitko	15553 68th Ct N	Loxahatchee	7/23/2025 6:43
817	Edward	Trotta	13382 85TH RD N	WEST PALM BEACH	7/23/2025 9:37
818	Greg	Schutzer	14688 96th Ln N	West Palm Beach	7/23/2025 9:44
819	Barry	Adriance	11097 63 lane north	West Palm Beach	7/23/2025 12:01
820	Anthony	Steigerwald	17914 41st Rd. North	Loxahatchee	7/23/2025 13:22
821	Heather	Crawford	18170 Murcott Blvd	Loxahatchee	7/23/2025 13:37
822	Lu	Brayman	415 Corona Del Mar St	Lakeland	7/23/2025 15:13
823	Shelli	Smiley	17148 94th St N	Loxahatchee	7/23/2025 15:22
824	Michele	Yarber	7783 130th Trail N	WestPalm Beach	7/23/2025 15:48
825	Garry	Yarber	7783 130th Trail N	WestPalm Beach	7/23/2025 15:50
826	Bill	Cragun	16068 90th st n	Loxahatchee	7/23/2025 17:55
827	Rosa	Margotta	15664 72nd court north	Loxahatchee	7/24/2025 1:18
828	Todd	Huffman	6943 Royal Palm Beach Blvd.	West Palm Beach	7/24/2025 11:10
829	JOHN	ROSSI	15438 97th Rd N	West Palm Beach	7/25/2025 6:23
830	Guillermo	Vazquez	16969 Hamlin Blvd	Loxahatchee	7/25/2025 8:43
831	Rhonda	Park	12136 86th Rd N	West Palm Beach	7/25/2025 14:17
832	Marlyn	Meredith	8647 Apache Blvd	Loxahatchee	7/27/2025 10:40
833	Joshua	Strubinger	12809 52nd RD N	West Palm Beach	7/30/2025 8:47
834	Benita	Siciliano	16360 77th Ln N	Loxahatchee	8/5/2025 9:23
835	Brian	Harlow	12079 76th Rd N	WPB	8/7/2025 12:53



August 13, 2025

Board of Supervisors

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Lisa Amara, Zoning Division Director
Palm Beach County Zoning Division
Planning, Zoning & Building
2300 N. Jog Rd, WPB, FL 33411
Via email: Lisa Amara A. <LAmara@pbc.gov>

RE: West End Crossing

Dear Ms. Amara,

Thank you for your email update of 7/16/25. I keep getting questions from our Board as to the approval status of the above project. I have made the County and the applicant aware of Indian Trail Improvement District's requirements. My concerns were summarized to ITID's Board in my Governmental update of 5/21/25 as follows:

"1. The District Engineer does not believe the project meets the PBC requirement of having a "Legal Positive Outfall". The proposed outfall is into the proposed PBC lake to the east of this project that isn't constructed. The District Engineer believes either the County would have to modify its ITID Special Permit to include this parcel or the applicant would have to wait until the lake is built and turned over to ITID to meet the PBC requirement of having a "legal positive outfall". This determination is, however, the responsibility of PBC to make. This project is within the M-1 Drainage Basin and ITID would accept its outfall if all ITID requirements as stated in its Surface Water Management policy are met.

2. The site plan does not address meeting the drainage/surface water management requirements of Indian Trail. A site plan typically does not show such details, but there are no drainage facilities depicted for compensating storage. The site must meet compensating storage and



if onsite would presumably be by underground storage. These systems are very costly. Offsite storage is also possible, but also costly.

Indian Trail has finalized its comments, but comments are not "issues". Comments allow the DRO process to proceed, and issues stop the process until resolved."

Subsequently the applicant's representative stated at a public meeting that they could connect up to an ITID canal on the north side of Northlake Blvd. Please note there are no existing easements that allow this connection.

On a closing note, I am not commenting on traffic as this project is adjacent to PBC roads.

Please accept this letter as part of your public records regarding the West End Crossing project.

Sincerely,

Jay G Foy, P.E.
District Engineer
Indian Trail Improvement District