

# ARTICLE 7

## LANDSCAPING

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# ARTICLE 7

## LANDSCAPING

### CHAPTER A GENERAL

#### Section 1 Landscape and Buffering

##### A. Purpose and Intent

The purpose and intent of this Article is to establish minimum standards for the design, layout, installation and continued maintenance of landscaping. The specific objectives of this Article are as follows:

##### 1. Appearance

To improve the aesthetic appearance of development through creative landscaping that helps to enhance the natural and built environment.

##### 2. Environment

To improve the environment by maintaining permeable land area essential to surface water management and aquifer recharge; reducing and reversing air, noise, heat, and chemical pollution through the biological filtering capacities of trees and other vegetation; promoting energy conservation through the creation of shade; reducing heat gain in or on buildings or paved areas; reducing the temperature of the microclimate through the process of evapotranspiration; and encouraging the limited use of fresh water resources through the use of native and drought tolerant plants.

##### 3. Water Conservation

To promote water conservation by encouraging xeriscaping in appropriate areas, such as medians; requiring the use of native and drought tolerant landscape material; encouraging the use of water conserving irrigation practices; requiring adherence to landscape installation standards and maintenance procedures that promote water conservation; and encouraging the ecologically sound placement of landscape material and incorporation of natural areas and vegetation into landscape plans.

##### 4. Preservation

To encourage the preservation and planting of native trees and vegetation as part of landscape design.

##### 5. Compatibility

To promote efficiency in the development of limited land resources by improving the compatibility of otherwise incompatible land uses in close proximity, particularly residential development that is adjacent to commercial and industrial development, through the use of landscaped buffers.

##### 6. Land Values

To maintain and increase the value of land by requiring minimum landscaping which, when installed and maintained properly, becomes a capital asset.

##### 7. Human Values

To provide physical and psychological benefits to persons and to reduce noise and glare by softening the harsher visual aspects of urban development.

##### 8. Removal of Prohibited Plant Species

To require the initial eradication of and control the ongoing removal of prohibited plant species that have become nuisances because of their tendency to disrupt or destroy native ecosystems.

##### B. Landscape Design Principles

The standards established in this Article are to be considered the minimum requirements for landscape design. It is the intent of this Article to encourage creativity in landscape design while providing general direction and criteria for the evaluation of landscape plans, planting plans and alternative landscape plans. The following design principles are general standards to be used by County staff and DRO in evaluating whether landscape plans conform to the requirements of this Article:

### 1. Natural Landscapes

Landscape designs should incorporate and enhance existing natural landscapes and existing specimen trees and native vegetation (including canopy, understory, and ground cover). Particular care should be given to preserve intact natural landscapes. Where previous landscaping has dramatically altered natural landscapes, new designs should seek to re-establish natural landscape patterns and plantings.

### 2. Composition

The quality of a landscape design is dependent not only on the quantity and selection of plant materials but also on how that material is arranged. Landscape materials should be arranged in a manner as to provide the following qualities and characteristics:

#### a. Texture

Landscape designs should provide a textured appearance through the use of a variety of plant material rather than a single species, by contrasting large leaf textures with medium and small leaf textures, and with a variety of plant heights. Spacing of key landscaping components, such as trees and shrubs, should be consistent with the overall design approach of the landscape plan. Formal landscape designs benefit from a uniform spacing of plants, whereas varied spacing and clustering of trees is more compatible with a naturalistic design.

#### b. Color

Landscape designs shall include a variety of plants to provide contrasting color to other plants in the design. Designs are encouraged to include flowering plants and especially a mix of plants that display colorful flowers throughout the year.

#### c. Form

Landscape designs should consider the complete three-dimensional form of the landscaping, not simply the form of individual elements. The interrelationship of all landscape elements should be considered so that the final design presents a coherent whole. Trees, shrubs, and hedges, especially those used for screening and buffering, should display a fullness at maturity that is typical of the species.

**Photo 7.A.1.B-1- Composed Buffer Material**



Well Composed Landscape Buffer: planting is tiered and consists of plant materials that display the elements of texture, color, and form.

**Photo 7.A.1.B-2- Rural Tier Landscape**



Well Composed Rural Tier Landscaping: good use of tree spacing, hierarchy of plant materials and use of plants of texture, color and form.

### 3. Buffering and Screening

The placement of natural landscape materials (trees, shrubs, and hedges) is the preferred method for buffering differing land uses, for providing a transition between adjacent properties, and for screening the view of any parking or storage area, refuse collection, utility enclosures, or other service area visible from a public street, alley, or pedestrian area. Plants may be used with fences or berms to achieve the desired screening or buffering effect. Plant material should be mature enough at the time of planting to provide an effective buffer or screen, and should be planted in an appropriate location to allow for desired growth within a reasonable period of time.

When used to screen an activity area such as a parking lot, landscaping shall not obstruct the visibility of motorists or pedestrians or interfere with public safety.

**Photo 7.A.1.B-3 - Opaque Landscape Buffer**



Effective Use of Landscaping as a Buffer: Opaque vertical screen lessens visual impact of commercial and industrial uses.

**Photo 7.A.1.B-4- Landscape Buffer Visual Screening**



Effective Use of Landscaping as a Buffer: Use of trees and shrubs lessens visual impact of parking lots while maintaining visibility for safety.

#### **4. Responsive to Local Context and Character**

Landscape designs should build on the site's and area's unique physical characteristics, conserving and complementing existing natural features. Naturalistic design elements such as irregular plant spacing, undulating berm contours, and mixed proportions of plant species should be used to ensure that new landscaping blends in and contributes to the quality of the surrounding area. Selection and spacing of plant material should be reflective of the surrounding area's character.

**Photo 7.A.1.B-5 – Naturalistic Design in U/S Setting**



Naturalistic Design in U/S Setting: Meandering buffer and clustering of trees creates a naturalistic effect appropriate to the area.

**Photo 7.A.1.B-6 – Naturalistic Design in a Rural Setting**



Naturalistic Design in a Rural Setting: Landscaping is less formal, using shrubs and trees appropriate to the area.

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**Photo 7.A.1.B-7 – Formal Buffer**



Uniform spacing and well-maintained grass create a formal aesthetic appropriate for the U/S Tier.

**Photo 7.A.1.B-8 – Naturalistic Buffer**



Non-uniform spacing, a variety of plant materials, and a less formal grass area appropriate for the Exurban, Rural, AGR, and Glades Tiers.

**5. Sensitivity to Tiers**

Landscape designs should consider the intent of the MGTS and designs should be compatible with the relevant tier. While all landscaping should incorporate naturalistic design features, landscaping in the U/S Tier is expected to display a more structured aesthetic with clear design intent, with landscape elements used to accent buildings, shade pedestrian areas, and define the edges of properties and land uses. Informal landscaping with increased buffer widths and a higher percentage of native vegetation is required in the Exurban, Rural, AGR, and Glades Tiers, as well as a greater protection of existing vegetation, especially the mature tree canopy on undeveloped portions of the site. Hedges are not appropriate for the Exurban, Rural, AGR, and Glades Tiers, unless they consist of native plants incorporated into a naturalistic landscape design.

**6. Use of Native and Drought Resistant Plants**

Landscape designs should feature native and/or related plant species, especially in areas adjacent to existing native vegetation, to take advantage of the unique natural character and diversity of the region and the adaptability of native plants to local environmental conditions. Where feasible, the re-establishment of native habitats should be incorporated into the landscape design.

In the same manner, landscape designs should utilize drought tolerant plant materials to the maximum extent feasible. The use of drought tolerant plants should enrich the existing landscape character, conserve water and energy, and provide as pleasant and varied a visual appearance as plants that require more water.

**7. Continuity and Connection**

Landscaping should be designed within the context of the surrounding area, provided that the landscaping is also consistent with these design principles. Where the design intent and the surrounding landscape is naturalistic, plant materials should blend well with adjacent properties, particularly where property edges meet, to create a seamless and natural landscape. Where the design intent and the surrounding landscape is formal, consistent or similar plant material and spacing should be utilized. Exceptions should be made when seeking to create a transition between uses, districts, and tiers.

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**Photo 7.A.1.B-9 - Landscaping Continuity and Connection**



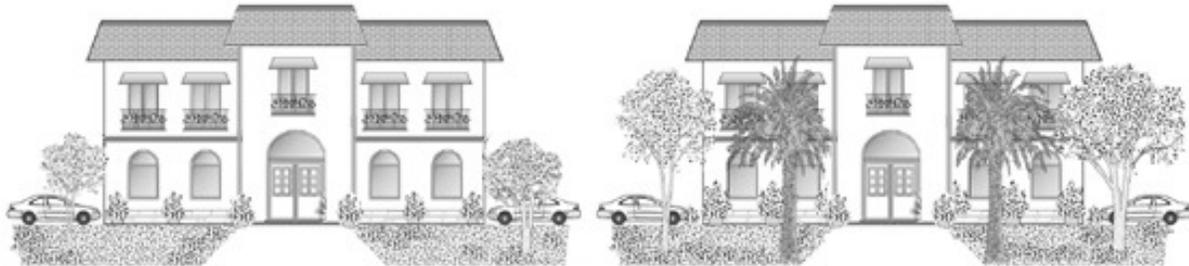
Similar landscaping elements used on each lot give a sense of continuity and connection to this suburban residential street

**8. Enhancing Architecture**

Landscape designs should be compatible with and enhance the architectural character and features of the buildings on site, and help relate the building to the surrounding landscape. Major landscape elements should be designed to complement architectural elevations and rooflines through color, texture, density, and form on both vertical and horizontal planes. Landscaping should be in scale with on-site and adjacent buildings. Plant material shall be installed at an appropriate size and allowed to accomplish these intended goals.

When foundation planting is required, plantings and window boxes should incorporate artistic elements and be compatible with a building's architectural character.

**Figure 7.A.1.B-1 – Enhancing Architecture**



Landscaping is small at maturity and out of scale with the building not enhancing the architectural design.

Mature landscaping is in scale with the building enhancing the architectural design.

**9. Energy Conservation and Sustainable Design**

Attention should be given to locating landscape elements in a manner that provides energy conservation benefits. Large trees, for example, can provide daytime shading for buildings, reducing energy needed for interior air conditioning. Landscape designs should also consider natural drainage features and the use of pervious surfaces and areas to minimize runoff.

**10. Quality Pedestrian Environment**

In the U/S Tier, as well as pedestrian-oriented development types such as TDD's, landscape designs should give special attention to ensuring a safe and attractive pedestrian environment. In high activity areas, such as commercial and workplace areas, benches, kiosks, artwork, and other streetscape elements should be incorporated into landscape designs. Pedestrian access to sidewalks or buildings should be considered in all landscape designs. Landscaping shall not obstruct pedestrian sightlines, especially at crosswalks.

**Photo 7.A.1.B-10 - Visual Interest for Pedestrian and Automobile Traffic**



Meandering sidewalks flanked by well composed curvilinear landscaping can add visual interest for pedestrian and automobile traffic.

**Photo 7.A.1.B-11 - Streetscape Elements**



Effective use of landscaping to frame the sidewalk and buffer the pedestrians from the street. Streetscape elements such as benches and potted plants enhance the pedestrian experience.

### **C. Applicability**

The provisions of this Article shall be considered minimum standards and shall apply to all new development except development exempted in [Art. 7.A.1.E, Exemptions](#), and deviations allowed by [Art. 7.A.1.F, Deviations](#). For previously approved development orders, refer to [Art. 1.F, NONCONFORMITIES](#).

### **D. Relation to Article 14, Vegetation Preservation and Protection**

Landscape plans required by this Article shall conform to the standards of [Article 14, ENVIRONMENTAL STANDARDS](#). Nothing in this Article shall be applied to contradict the requirements of [Article 14, ENVIRONMENTAL STANDARDS](#). Within 500 feet of a preserve area required by [Article 14, ENVIRONMENTAL STANDARDS](#), new landscaping shall not include invasive non-native species as outlined in [Article 14.C, VEGETATION PRESERVATION AND PROTECTION](#), Appendix F.

### **E. Exemptions**

The following developments are exempt from the standards and requirements of this Article:

1. Enlargement or repair of a single-family dwelling unit, two-unit townhouse, or two-unit multi-family structure on a single lot.
2. Parking areas located within an enclosed parking structure.
3. Bona fide agriculture uses. Except as specified in [Article 4.B, SUPPLEMENTARY USE STANDARDS](#), Agriculture, bona fide, agricultural activities and accessory agricultural uses shall require a six foot high perimeter buffer along a public road R-O-W.
4. Development that does not entail a substantial change in land use as defined in [Art. 1.I, Definitions and Acronyms](#).
5. Uses such as airports, major utilities, and stockades which have planting requirements regulated by Federal or State law. Off-site planting of required landscaping may be approved in areas where there is a direct public benefit, such as in schools, parks, libraries, streets, and medians.
6. Projects in the Glades Area Economic Development Overlay (GA-O) that have provided in-lieu funds to the Glades Thoroughfare Beautification Fund.

### **F. Deviations**

Deviations to the minimum standards of this Article may be permitted for PBC parks, as specified in [Art. 5.D.2.G, County Park Landscape Standards](#). [Ord. 2006-004]

## **Section 2 Definitions**

See [Art. 1.I, Definitions and Acronyms](#)

## **CHAPTER B TYPES OF PLANS**

All development that requires the issuance of a building permit or paving permit require submittal and approval of one of the following, as applicable. Plans must be submitted in a manner and form established by the Zoning Division.

## **Section 1 Planting Plan**

For all single-family and two-unit dwellings on an individual lot, and uses requiring landscaping that would otherwise be exempt, a planting plan shall be submitted and approved prior to the issuance of a building permit. The planting plan shall, at a minimum, indicate the number, location, height, and species of required trees and shrubs.

## **Section 2 Landscape Plan**

For non-residential development, multi-family development greater than two units, and common areas of a PUD, a landscape plan shall be submitted and approved prior to the issuance of a building permit.

## **Section 3 Alternative Landscape Plan (ALP)**

An applicant who can demonstrate that the intent of this Article can be exceeded, in whole or in part, may submit an ALP prepared in accordance with the following principles and design criteria. The ALP shall include a narrative that clearly details the modifications being requested and explains how they enhance the landscape design principles listed below.

### **A. Design Principles**

To qualify for consideration an ALP shall demonstrate compliance with the following principles:

1. Innovative use of plant materials and design techniques in response to unique characteristics of the specific Tier and site.
2. Preservation or incorporation of existing native vegetation.
3. Use of a variety of plant material, including plants of color, form, and texture, in excess of minimum requirements.
4. Incorporation of naturalistic design principles, such as variations in topography, meandering or curvilinear plantings, and grouping of dominant plant materials (trees, large shrubs) in a manner consistent with existing native vegetation.
5. Integration of landscaping and pedestrian facilities in a manner consistent with the Tier in which the development is located. In U/S Tiers and in TDD's, this may include reduced ground-level planting within the R-O-W buffer if canopy shade trees along sidewalks are provided.
6. Use of additional shade trees to create a greater canopy effect.
7. A greater degree of compatibility with surrounding uses than a standard landscape plan would offer, provided the resulting landscape conforms with the design principles and guidelines of this Article.
8. Use of water-efficient irrigation systems and xeriscaping at appropriate locations.
9. Incorporation of specific environmental attributes such as soil, hydrology, and vegetative communities unique to the site, and which are compatible with environmental features on adjacent properties.

### **B. Applicability**

An ALP may be submitted for any project requiring approval by BCC, ZC, DRO, and BA.

### **C. Allowable Modifications to Standards**

The standards of this Article which may be modified by an ALP are listed in [Appendix D, Checklist of Standards](#).

### **D. Approval**

ALPs may be submitted in conjunction with a Zoning application, in accordance with [Article 2, DEVELOPMENT REVIEW PROCESS](#), or a building permit application, subject to the following requirements.

#### **1. Checklist**

The ALP shall include documentation demonstrating compliance with [Appendix D, Checklist of Standards](#).

#### **2. Optional Preliminary Meeting**

Applicants may schedule a preliminary meeting with Zoning staff to identify issues and discuss possible design alternatives.

#### **3. Optional Submittal with a Zoning Application**

If submitted with an application for an on-going conditional use, requested use, variance, development order amendment, or DRO approval, an applicant may receive approval of the overall design concept for an ALP by the ZC, BA or BCC.

**4. DRO Approval**

Prior to issuance of a building permit, an ALP shall be approved by the DRO.

**5. Required Findings**

An ALP may be approved upon finding that:

- a. There are unique characteristics of the property, site design or use that warrant special consideration to modify or deviate from the requirements of this section and that these characteristics are not self-created.
- b. The ALP meets or exceeds the minimum requirements of this Section, while recognizing the unusual site design or use restraints on the property.
- c. Approval of the ALP will provide for both increased consistency and compatibility with adjacent projects located in the Tier.
- d. The ALP conforms to the requirements of [Appendix D, Checklist of Standards](#), and no exceptions to the limitations on the standards that may be modified are requested.

**6. Appeals**

If an application for an ALP is denied by the DRO or Zoning Division, an applicant may appeal the decision through one of the following methods.

**a. Peer Review**

The applicant may select a landscape architect licensed in the State of Florida to certify to PZB that the proposed ALP is in compliance with this Article. PZB shall provide a Peer Review Certification Form for this purpose. Certification shall substitute for a staff determination of consistency with this Article.

**b. Board of Adjustment (BA)**

An applicant may file an appeal of a determination of compliance with the BA. The appeal must be filed within 30 calendar days from the date the determination is denied.

**Section 4 Street Planting Plan**

Plans for landscaping within streets shall be provided for new subdivisions in accordance with [Article 11.B.3.B.3, Construction Plans and Supplemental Engineering Reports](#).

**CHAPTER C MGTS TIER COMPLIANCE**

Landscape design shall comply with the relevant MGTS characteristics in both plant material selection and overall landscape composition.

**Section 1 U/S Tier**

Landscaping in the U/S Tier should have a higher level of detail and more structure, such as pedestrian accents, formal arrangements in perimeter landscape and buffers, street tree plantings, and inter-connections between pedestrian and vehicular areas. The Revitalization and Redevelopment Overlay is located with the U/S Tier and recognizes the unique opportunities and restrictions often encountered in development of infill parcels. Greater flexibility and alternative landscape solutions are available to promote development within the boundaries of these areas.

**Section 2 AGR and Glades Tiers**

The AGR Tiers should promote reduced impervious areas, maintain large green/open spaces, incorporate equestrian and agricultural elements into the design, include an increased percentage of native plant species, and the use of natural stone and/or wood materials in the landscape design.

**Section 3 Exurban and Rural Tiers**

The Exurban and Rural Tiers consist of larger residential lots, development incorporating rustic architecture and building materials, and should emphasize preservation of native vegetation, dispersed parking and more naturalistic landscaped areas and informal design patterns.

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**Table 7.C.3-1 – Minimum Tier Requirements**

| Code Requirements                                     | U/S Tier  | AGR and Glades Tiers   | Exurban and Rural Tiers   |
|---|---|--|---|
| Landscape Buffers <sup>5</sup>                        |   |  |   |
| Design  | Linear design, formal arrangement of elements, traversing sidewalks | Meandering, more naturalistic with shrub cluster and varying heights | Increased depth, buffers often adjacent to interior open space, unimproved pathway surfaces |
| Berms   | Optional  | Optional   | No <sup>1</sup>   |
| Fences/Walls  | Optional <sup>2</sup>   | Optional <sup>2</sup>  | Optional <sup>2,3</sup>   |
| Layers of Shrubs and Ground Cover <sup>4</sup>        | 3   | 4  | 3   |
| Interior Landscaping <sup>6</sup>                     |   |  |   |
| Minimum Tree Quantities – Residential Lot             | 1 per 1,250 sq. ft. (max. 15)                                       | 1 per 1,000 sq. ft. (max. 30)  | 1 per 800 sq. ft. (max. 30)   |
| Minimum Tree Quantities – Non-Residential Lot         | 1 per 2,000 sq. ft.   | 1 per 1,500 sq. ft.  | 1 per 1,200 sq. ft.   |
| Minimum Medium Shrub Quantities – Residential Lot     | 3 per 1,250 sq. ft. (max. 45)                                       | 3 per 1,000 sq. ft. (max. 90)  | 3 per 800 sq. ft. (max. 90)   |
| Minimum Medium Shrub Quantities – Non-Residential Lot | 3 per 2,000 sq. ft.   | 3 per 1,500 sq. ft.  | 3 per 1,200 sq. ft.   |
| Pervious Surface Area (Overall Lot)                   | 30 percent  | 40 percent   | 50 percent  |
| Interior Islands                                      | 1 per 10 spaces   | 1 per 8 spaces   | 1 per 6 spaces  |
| Interior Islands Landscape Width                      | 8 ft.   | 10 ft.   | 12 ft.  |
| Protective Curbing                                    | Yes   | Yes  | Optional  |
| Plant Standards <sup>6</sup>                          |   |  |   |
| Minimum Tree Height (Perimeter)                       | 12 ft.  | 12 ft.   | 12 ft.  |
| Minimum Tree Height (Interior)                        | 12 ft.  | 12 ft. (average)   | 12 ft. (average)  |
| Palms Substitute (3 palms for 1)                      | Yes   | Yes – Native clusters only   | Yes – Native clusters only  |
| Foundation Planting <sup>5,6</sup>                    |   |  |   |
| Foundation Planting Width                             | 5 ft. along front façades<br>8 ft. along side façades               | 10 ft. all sides   | 12 ft. all sides  |
| Facades to be Planted                                 | Front & Sides   | Front, Sides & Rear  | Front, Sides & Rear   |
| Percentage of Facade                                  | 40 percent  | 50 percent   | 60 percent  |
| <b>[Ord. 2005-002] [Ord. 2006-004]</b>                |   |  |   |

**Notes**

1. May be allowed with an approved ALP.
2. Unless required by [Art. 7.F.9, Incompatibility Buffer](#).
3. Walls and fences shall be built from natural materials, such as wood, stone, etc.
4. Refer to Shrub Hierarchy requirements in Table 7.F.7.B-6, R-O-W Buffer Shrub Type. Minimum interior quantities required in addition to perimeter buffer landscape requirements. Shall be calculated based on gross lot area, excluding preservation areas and lake tracts.
5. TDDs are exempt from foundation planting requirements for primary and secondary building frontages, buildings along an alleyway or accessway to a parking area, or where buildings front on a plaza or square. **[Ord. 2005-002] [Ord. 2006-004]**
6. Deviations shall be permitted for PBC owned and operated public parks in accordance with [Art. 5.D.2.H, County Park Landscape Standards](#). **[Ord. 2006-004]**

## **CHAPTER D GENERAL STANDARDS**

The following standards are required for all trees, shrubs, hedges, groundcover and other landscape material.

### **Section 1 Plant Species**

A minimum of 60 percent of required plant material shall be selected from [Appendix A, PBC's Preferred Species List](#), published by the Zoning Division, or the list of native and drought-tolerant species in the most recent edition of the [SFWMD's "Xeriscape Plant Guide"](#). A minimum of 60 percent of required plant materials shall be native species.

### **Section 2 Trees**

#### **A. Canopy Trees**

Canopy trees are subject to the following standards. All canopy trees shall be container grown or root pruned in accordance with acceptable horticultural practices.

##### **1. Minimum Height**

Canopy trees shall meet the height standards in [Figure 7.D.2.A-2, Canopy Tree Measurement Standards](#), at installation. Up to 25 percent of the total number of required interior trees may be reduced in height by 25 percent, provided that an additional tree, at least eight feet in height, is planted for each tree with reduced height.

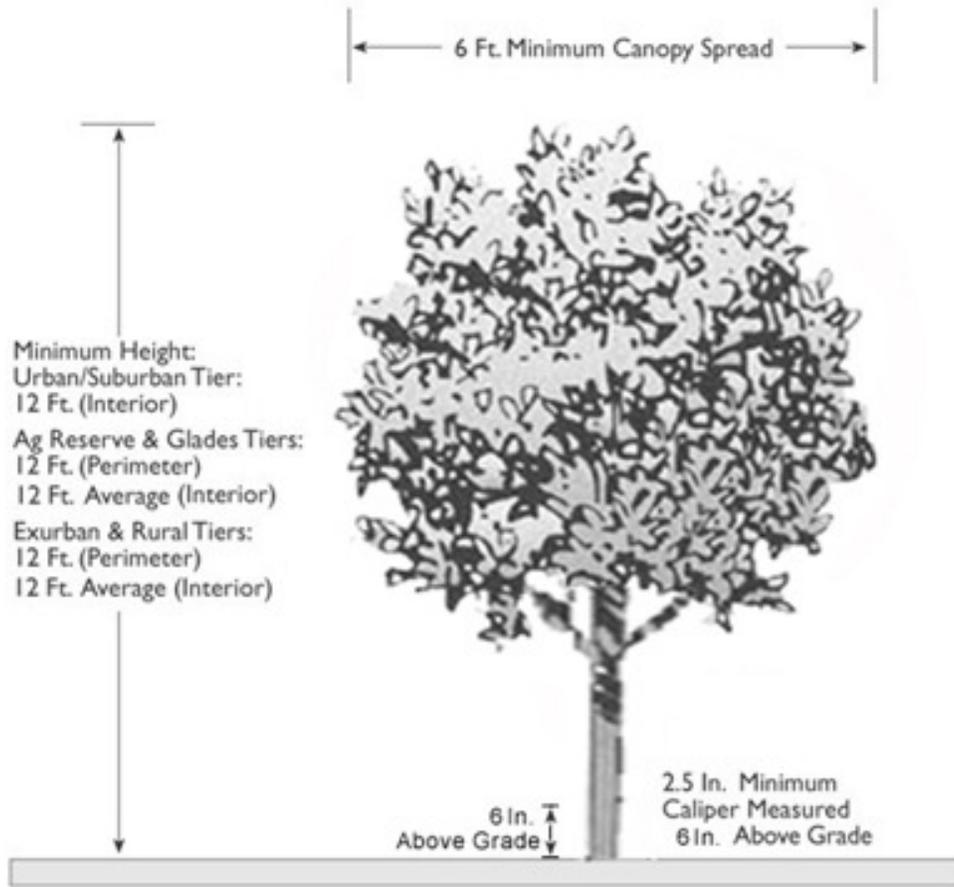
##### **2. Minimum Canopy Spread**

Six feet.

##### **3. Minimum Caliper**

Two-and-a-half inches.

**Figure 7.D.2.A-2 – Canopy Tree Measurement Standards**



**B. Palms**

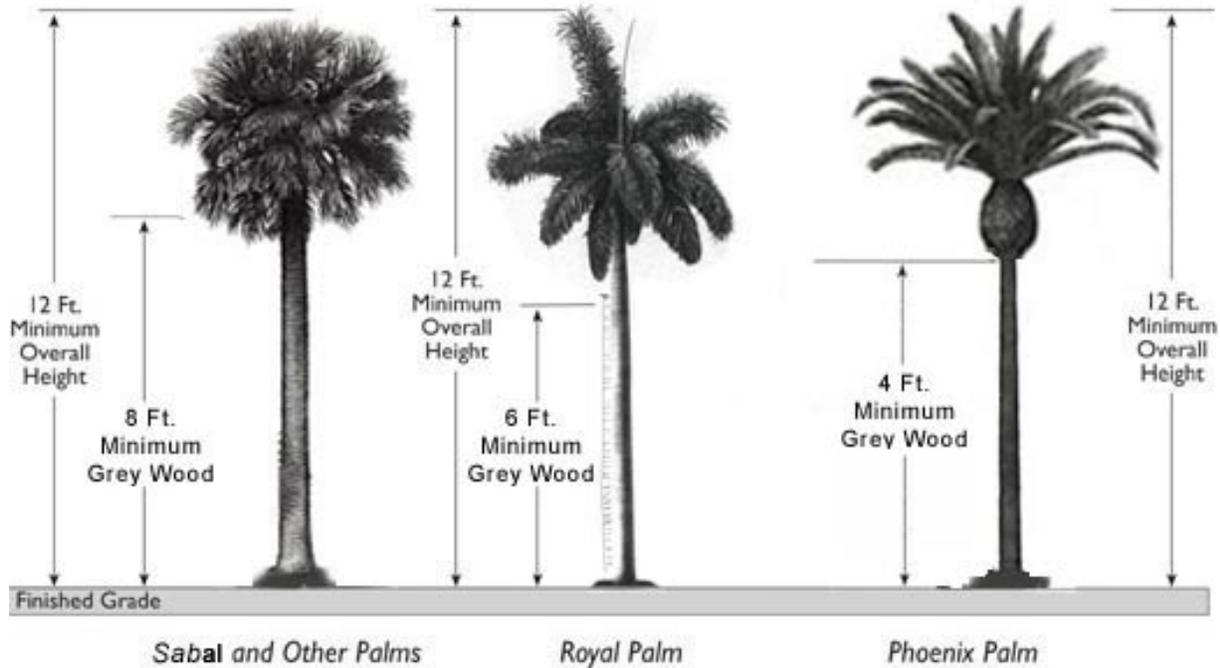
Palms, in clusters of same species, may be used in place of required canopy trees, subject to the standards in [Table 7.D.2.B-2, Palm Height Standards](#), and [Figure 7.D.2.B-3, Palm Measurement Standards](#). Palms may not be used in excess of 25 percent of the total number of required trees. When using palms in a perimeter buffer, refer to [Article 7.F.2.A.2, Palms](#).

**Table 7.D.2.B-2 – Palm Height Standards**

|                  |  |
|------------------|--|
| Minimum Height   | 12 feet overall height as noted below;<br>8 feet clear trunk<br>6 feet Grey wood for Royals and similar species<br>4 feet Grey wood for Phoenixes and similar species<br>4 feet clear trunk for preserved native palms |
| Minimum Diameter | See Florida Standards for specific species   |

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**Figure 7.D.2.B-3 – Palm Measurement Standards**



**C. Tree Species Mix**

When more than 15 trees are required to be planted to meet the standards of this Article, a mix of species is required. The number of species to be planted shall vary according to the overall number of trees that are required to be planted pursuant to [Table 7.D.2.C-3, Tree Species Mix](#). Vegetation preserved in accordance with [Article 14.C, VEGETATION PRESERVATION AND PROTECTION](#), is exempt from the tree species mix requirement.

**Table 7.D.2.C-3 - Tree Species Mix**

| Required Number of Trees | Minimum Number of Species |
|--------------------------|---------------------------|
| 16-30                    | 2                         |
| 31-45                    | 3                         |
| 46-60                    | 4                         |
| 61-75                    | 5                         |
| 76-90                    | 6                         |
| 91 +                     | 7                         |

**D. Tree Credit**

A preserved upland or drought-tolerant tree or palm meeting the standards in this Article may be substituted for required trees, subject to the following:

**1. Tree Survey**

Credit shall be granted for on-site preservation of existing trees or palms when accompanied by a tree inventory or tree survey.

**2. Trees Excluded from Credit**

Credits shall not be permitted for trees that are:

- a. Required for preservation by [Article 14.C, VEGETATION PRESERVATION AND PROTECTION](#) (i.e. located in required preservation areas, heritage or champion trees).

- b. Not properly protected from damage during the construction process, as required in [Article 14.C, VEGETATION PRESERVATION AND PROTECTION](#).
- c. Classified as prohibited or invasive non-native species as defined in [Article 14.C, VEGETATION PRESERVATION AND PROTECTION](#).
- d. Dead, dying, diseased, or infested with harmful insects.
- e. Located on a subarea of a planned development that is not intended to be developed for residential, commercial, or industrial use, such as a golf course on an adjacent open space parcel.

**3. Tree Credit Formula**

Existing trees shall be credited according to the formula in [Table 7.D.2.D-4, Tree Credit and Replacement](#).

**Table 7.D.2.D-4– Tree Credit and Replacement**

| Crown Spread of Tree | Or | Diameter at 4.5 Feet Above Grade | = | Credits or Replacements |
|----------------------|----|----------------------------------|---|-------------------------|
| Less than 5 Ft.      | or | Less than 2 in.                  | = | 0                       |
| 5-9 Ft.              | or | 2-6 in.                          | = | 1                       |
| 10-19 Ft.            | or | 7-11 in.                         | = | 2                       |
| 20-29 Ft.            | or | 12-16 in.                        | = | 3                       |
| 30-39 Ft.            | or | 17-21 in.                        | = | 4                       |
| 40-49 Ft.            | or | 22-26 in.                        | = | 5                       |
| 50-59 Ft.            | or | 27-31 in.                        | = | 6                       |
| 60-89 Ft.            | or | 32-36 in.                        | = | 7                       |
| 90 Ft. or Greater    | or | 37 in. or more                   | = | 8                       |

**Notes:**

- 1. Preserved or relocated slash pines a minimum of 14 feet in height may count as one required tree.
- 2. Fractional measurements shall be rounded down.

**Section 3 Shrubs and Hedges**

**A. Shrubs**

Required shrubs are subject to the standards in [Table 7.C.3-1, Minimum Tier Guidelines](#), and the dimension standards in [Table 7.F.7.B-6, R-O-W Buffer Shrub Type](#).

**B. Hedges**

**1. Residential Hedge Height**

Hedges may be planted and maintained along or adjacent to a lot line. **[Ord. 2005 – 002]**

- a. Within required front setback: four feet. **[Ord. 2005 – 002]**
- b. Within required side, side street (to the required front setback) and rear setback: eight feet. **[Ord. 2005 – 002]**
- c. The height shall be measured adjacent to the hedge from the lowest grade on either side of the hedge. **[Ord. 2005 – 002]**

**2. PDD and Non-residential Perimeter Buffer Hedge Height**

- a. Maximum height: 12 feet. **[Ord. 2005 – 002]**
- b. The hedge height in a landscape barrier shall be measured in accordance with Art. 7.D.14, Grade Changes. **[Ord. 2005 – 002]**

**3. Shrub Replacement**

Hedges may be used in place of required shrubs, subject to the following standards and the hedge height provisions above. **[Ord. 2005 – 002]**

- a. **Minimum Height at Installation**  
24 inches.
- b. **Minimum Height Within Two Years of Planting**  
Three feet.
- c. **Minimum Spacing**  
24 inches on center. **[Ord. 2005 – 002]**

**Section 4 Ground Treatment**

The ground within required landscaped areas shall receive appropriate landscaping such as grass, groundcover, mulch or shrubs and present a finished appearance upon planting. Ground cover is not required in preservation areas shown on approved landscape plans. Sand, gravel, shellrock, or pavement are not considered appropriate landscape treatment. The following standards shall apply to the installation of ground treatment:

**A. Ground Cover**

Live material used as ground cover shall provide a minimum of 50 percent coverage immediately upon planting and 100 percent coverage within six months.

**B. Mulch**

Mulch shall be installed and maintained at a minimum compacted depth of three inches at all times in all planted areas not containing ground cover. All mulch material shall be free of seeds and weeds to prevent tree sprouting and regrowth.

**C. Pebble, Egg Rock and Decorative Sand**

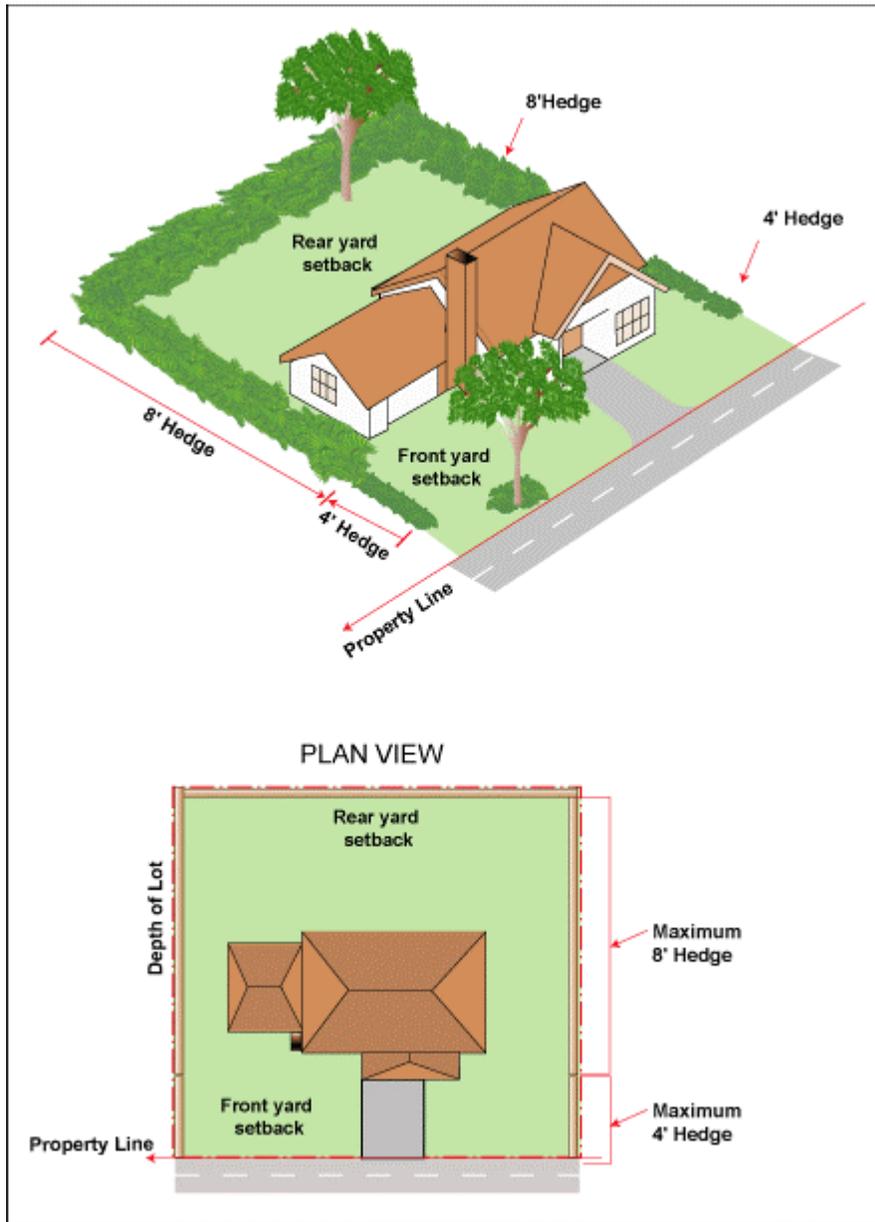
Pebble, egg rock, or decorative sand may be used up to a maximum of ten percent of ground coverage and only in areas needed to accommodate limited roof water runoff.

**D. Lawn and Turf Grass**

Grass areas shall be planted with species suitable as permanent lawns and reach 100 percent coverage within six months of planting. Grass areas may be sodded, plugged, sprigged, or seeded, provided that sod shall be required between landscape buffers and swales and in other areas subject to erosion). In areas where grass seed is used, millet or rye shall also be sown for immediate effect, and immediate maintenance shall be provided until coverage is complete. Because of their drought resistant characteristics, it is recommended that Bahia grass species be used. Use of drought-tolerant ground cover instead of lawn and turf grass is encouraged. Undeveloped parcels shall be planted as required in [Art. 7.E.4.B, Vacant Lots](#).

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Figure 7.D.3.B-4 Residential Hedge Height



[Ord. 2005-002]

### Section 5 Existing Native Trees and Vegetation

Existing native trees and vegetation may satisfy the landscape buffer requirements in this Article, in total or in part. Existing native trees and vegetation may be relocated from areas of the site to be used as or in a landscape buffer. In determining whether native trees and vegetation satisfy the requirements of this Article, the following shall be considered:

- A. The effectiveness of the visual screening. If adequate screening is provided, then no additional trees and vegetation will be required.
- B. The quality and kind of the trees and vegetation being preserved.

### Section 6 Prohibited Plant Species

The planting or installation of the following plant species is prohibited. Each planting plan, landscape plan or ALP shall include a program to eradicate and prevent the reestablishment of these species.

- A. Prohibited plant species listed in [Article 14.C, VEGETATION PRESERVATION AND PROTECTION](#).
- B. Any plant species classified in [Article 14.C, VEGETATION PRESERVATION AND PROTECTION](#), as an “invasive non-native species”.

## Section 7      **Controlled Plant Species**

The following species may be planted or maintained under controlled conditions:

### A. **Black Olives**

Black olives shall not be installed within 15 feet of any vehicular use area, sidewalk, paved pathway, or bike lane.

### B. **Ficus Species**

Ficus species may be planted under the following conditions but shall not exceed a maximum of ten percent of the total number of required trees.

- 1. Planted as individual trees provided they are no closer than 30 feet from any structure or utility;
- 2. Contained in a planter or root barrier; or
- 3. Maintained in accordance with the restrictions for hedges pursuant to [Art. 7.D.3.B, Hedges](#). Ficus hedges in interior landscape areas shall not exceed a maximum of 12 feet in height, measured from the lowest grade adjacent to the hedge. **[Ord. 2005 – 002]**

**Photo 7.D.7.B-12 – Controlled Plant Species**



Black Olive Tree: May not be installed within 15 feet of any vehicular use area, sidewalk, pathway, or lane.



Ficus Tree: May be used in landscaping only under controlled conditions.

### C. **Silk Oak, Rosewood**

Silk Oak and Rosewood trees shall not be planted within 500 feet of a preserve area.

### D. **Citrus Trees**

Citrus trees shall not qualify as a required tree, except for single-family lots.

## Section 8      **Artificial Plants**

No artificial plants or vegetation shall be used to meet any standard of this Section.

## Section 9      **Berms**

Berms may be used as non-living landscape barriers only when used in conjunction with plant materials and where existing natural vegetation is not disturbed. Berms may be used in conjunction with fences, walls, hedges and shrubs to meet the total height requirements of incompatibility landscape buffers, as illustrated in [Figure 7.D.9.C.4, Berm Elevation and Drainage Requirements](#), provided that hedges and shrubs are installed at the height necessary to provide the total six foot screen at the time of planting. Berms may be installed in preservation areas only where they will not affect the viability of preserved trees and vegetation. Runoff from berms shall be contained within the property, as illustrated in [Figure](#)

7.D.9.C-5, [Berm Elevation and Drainage Requirements](#), or in a manner approved by the County Engineer.

**A. Tier Restrictions**

Landscape berms are not allowed within the Exurban, Rural, Agricultural Preserve, or Glades Tiers, unless approved as part of an ALP or located along a Rural Parkway.

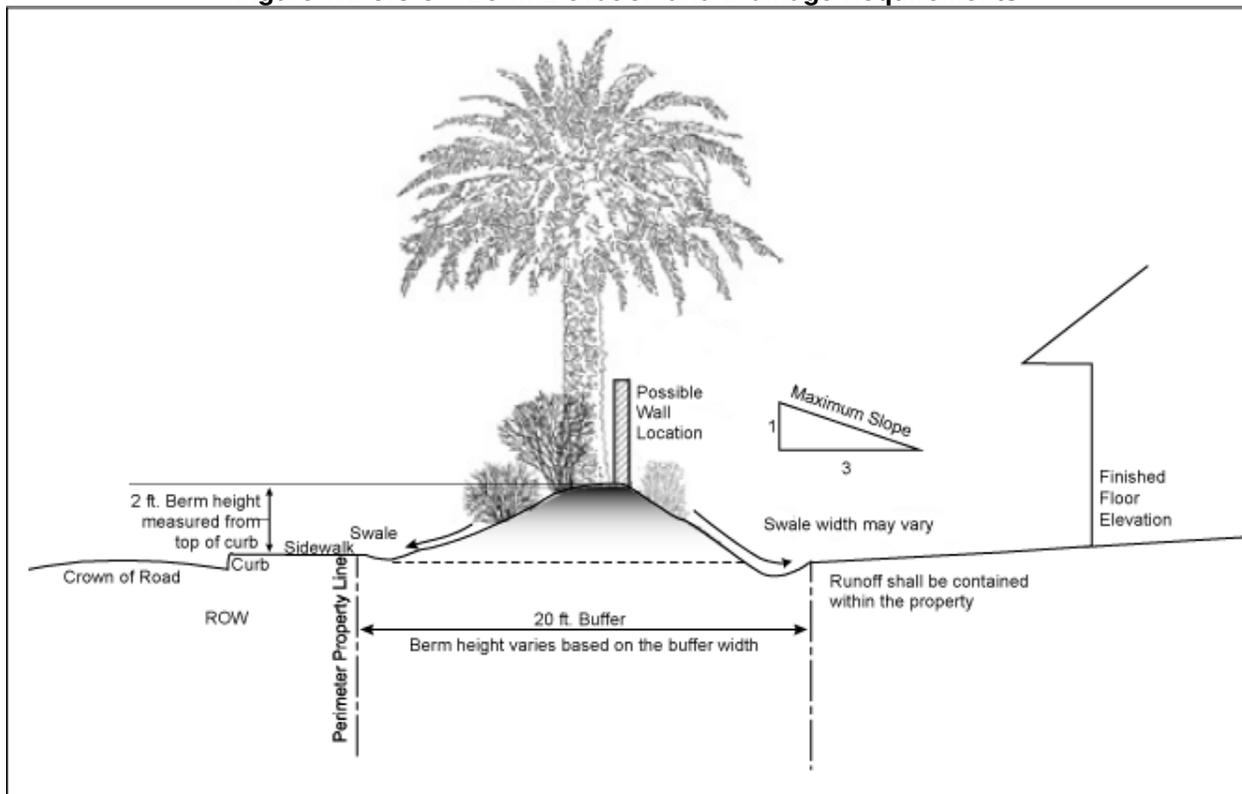
**B. Maximum Slope**

The slope of a berm shall not exceed three-to-one.

**C. Height Measurement**

Berm height shall be measured from the nearest adjacent top of the curb (parking lot) or the nearest adjacent crown of the road or the nearest adjacent finished floor elevation, whichever is higher. [Ord. 2005 – 002]

**Figure 7.D.9.C-5 – Berm Elevation and Drainage Requirements**



[Ord. 2005-002]

**Section 10 R-O-W Landscaping**

Landscaping in the median or swale of streets may be required by the BCC or the County Engineer pursuant to [Article 11.C.1.C.1, Access and Circulation Systems](#).

**Section 11 Foundation Plantings**

Foundation plantings shall be provided along façades as required by [Table 7.C.3-1, Minimum Tier Guidelines](#), for non-residential structures unless specifically exempted by this Section. Along front and side façades with drive-through windows, plantings may be located within 30 feet of the foundation or the required plantings may be relocated to an adjacent façade. All required foundation plantings shall be planted with a minimum of one tree or palm for each 20 linear feet of building facade and appropriate shrubs or ground cover. Relocation of required foundation plantings may be approved by the Zoning Division if adjacent to a landscape buffer.

## **A. Exemptions**

1. Agricultural or industrial buildings that are not visible from a public street or residential zoning district.
2. Buildings which are exempt from local building permits or government review pursuant to State or Federal Statutes.
3. Structures within a TDD, where a build-to-line is established along the sidewalk, except where required in [Article 3.F, TRADITIONAL DEVELOPMENT DISTRICTS \(TDDS\)](#).
4. Properties where the required planting area would overlap a required buffer.
5. Accessory buildings and structures subject to Zoning approval.

## **B. WCRAO Exemptions**

### **1. Build to Line**

Required foundation planting along any façade with a required build to line may be deleted. **[Ord. 2006-004]**

### **2. Foundation Planting Deviations**

The following deviations shall be permitted subject to DRO approval of an ALP: **[Ord. 2006-004]**

- a. The width of side foundation planting areas may be reduced from eight to five feet in width for buildings with a ten-foot side setback if the overall volume of reduced planting area is relocated on site. **[Ord. 2006-004]**
- b. Side foundation planting may be relocated on site for buildings using a zero side setback. **[Ord. 2006-004]**
- c. Side foundation planting may be relocated on site if the applicant can demonstrate that proposed building heights will adversely limit sunlight and viability of planting area. **[Ord. 2006-004]**

## **C. Minimum Length**

The combined length of the required foundation planting shall be as required by [Table 7.C.3-1, Minimum Tier Guidelines](#). The minimum length shall be calculated by the total length of the applicable side of the structure, excluding garage doors and loading bays.

## **D. Planting Around Signs**

A three foot wide planting area shall be required around the base of all ground-mounted signs. One shrub for each ten square feet of planting area shall be installed within the planting area and maintained at a minimum height of 18 inches. Monument signs six feet in height or less may be surrounded by ground cover on all sides instead of shrubs. Landscaping and trees that interfere with the visibility of signage may be relocated to the rear of the sign planting area, subject to approval by the Zoning Division.

## **E. Large Scale Commercial Development**

In addition to the requirements of this Code, developments with single tenants occupying 65,000 gross square feet or more shall be subject to the following foundation planting standards: **[Ord. 2005 – 002]**

### **1. Dimensional Requirements**

- a. Planting areas shall be in accordance with [Table 5.C.1.I-13, Large Scale Commercial Development](#), or [Table 7.C.3-1, Minimum Tier Requirements](#) whichever is greater. **[Ord. 2005 – 002]**
- b. Foundation planting shall meander along building facade, and shall not be entirely located at the base of the building. **[Ord. 2005 – 002]**

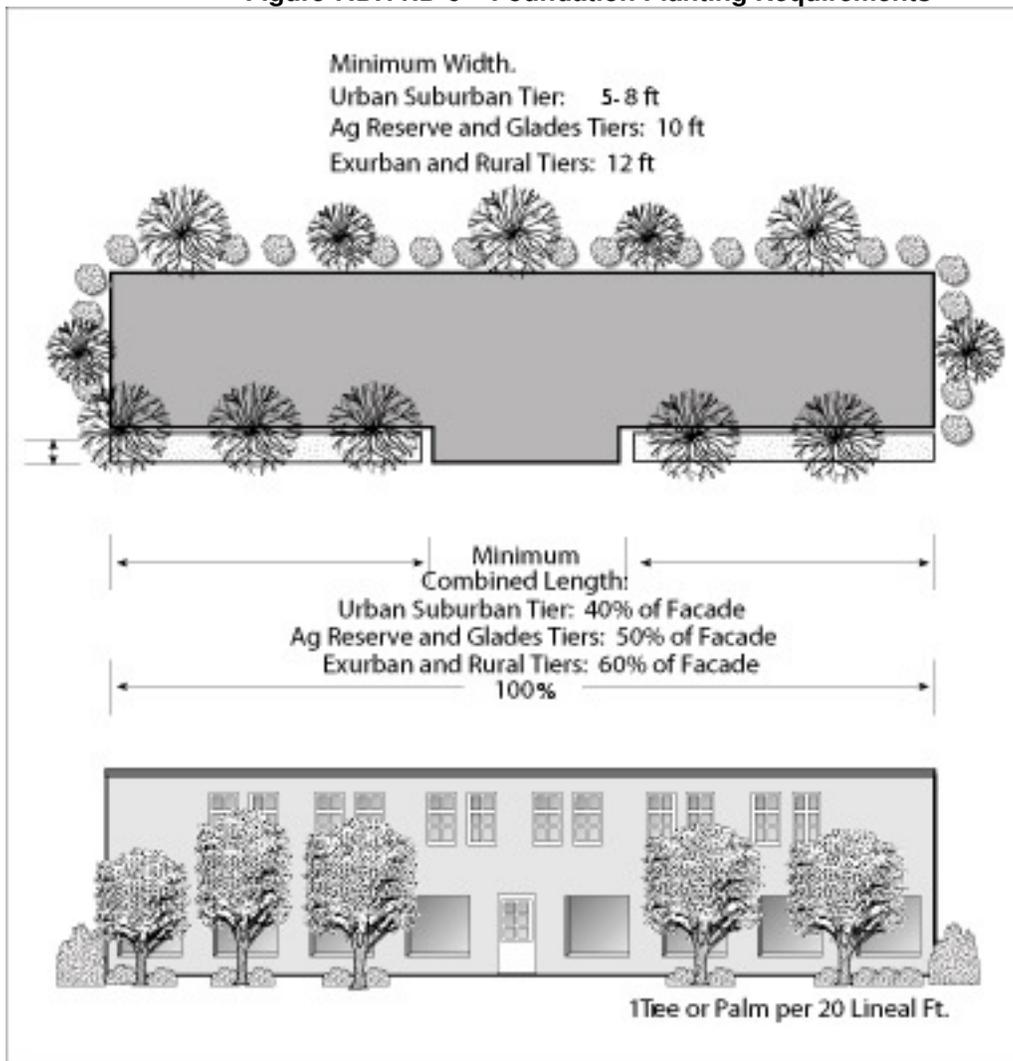
### **2. Easements**

No easement encroachment shall be permitted, except for bisecting utility easements and pedestrian walkways. **[Ord. 2005 – 002]**

### **3. Planting Requirements**

- a. One tree or palm for every 15 feet of façade. **[Ord. 2005 – 002]**
- b. Trees/palms shall be evenly distributed along the façade. **[Ord. 2005 – 002]**
- c. The height of plant material shall be in relation to the height of the adjacent façade or wall. The height of 50 percent of required trees or palms shall be a minimum of two-thirds of the height of the building. **[Ord. 2005 – 002]**

**Figure 7.D.11.D-6 – Foundation Planting Requirements**



## Section 12 Landscape in Easements

Easements may overlap a required landscape buffer by a maximum of five feet, provided there remains a minimum of five clear feet for planting. If a wall with a continuous footer is used, a minimum of ten clear feet for planting is required. The landscape buffer may be traversed by easements or access ways as necessary to comply with the standards of this Article, and [Article 11, SUBDIVISION, PLATTING, AND REQUIRED IMPROVEMENTS](#), and other PBC codes. Easements shall be identified prior to the preparation of site or subdivision plans and any proposed overlap shall be approved by the DRO or Zoning Division.

### A. Infill Development

Required landscape buffers for infill development may overlap easements by more than five feet, provided that there remains a minimum of five clear feet for planting or ten clear feet if a wall with a continuous footer is used.

### B. Overhead Utilities

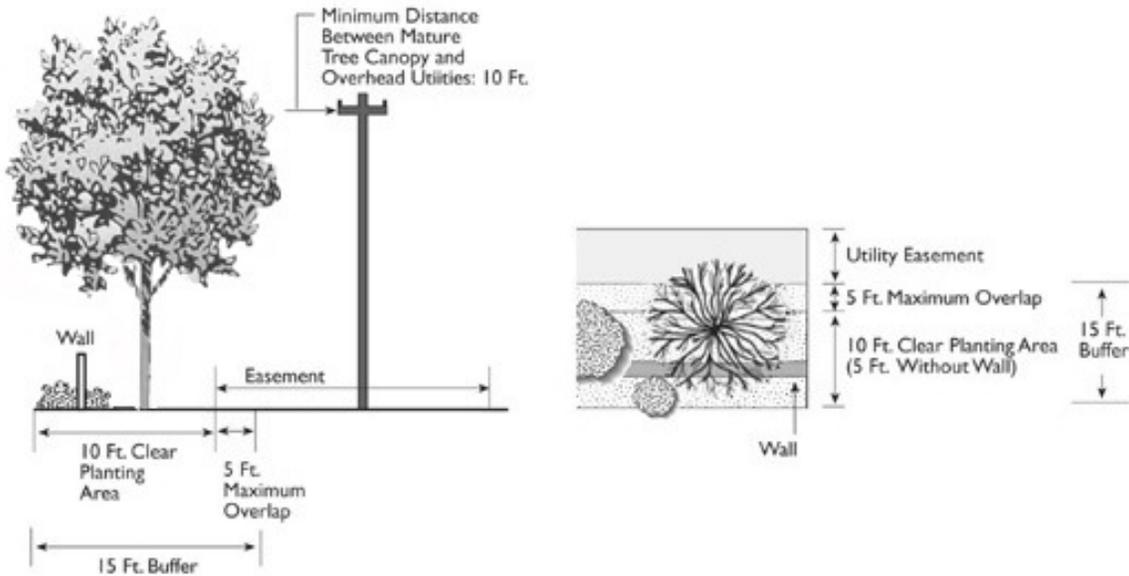
Trees planted within any easement with overhead utilities shall comply with the placement and maintenance requirements in the latest edition of FP&L's publication "Plant the Right Tree in the Right Place," available from the Zoning Division, and take into consideration the mature height

and spread of the species beneath or adjacent to overhead utilities. Where overhead utilities exist, trees shall be maintained so that the mature tree canopy is a minimum of ten feet from overhead lines. Plants required in the easement area may be planted elsewhere on site, in the vicinity of the required location. In order to maintain tree and plant spacing when a landscape buffer is traversed by a utility easement, a larger overlap may be allowed with the written approval of the relevant utility service company. Where a utility easement crosses a R-O-W buffer, plant material spacing may be adjusted, provided there is no reduction in the amount of required plant material.

**C. Detention/Retention Areas, Swales, and Drainage Easements**

Detention/retention areas, drainage easements, and sloped, directional swales greater than one foot below finished grade, shall not be located in or overlap required landscape buffers unless otherwise approved in writing by the Land Development Division. **[Ord. 2006-004]**

**Figure 7.D.12.C-7 – Maximum Allowed Encroachment into Easements**



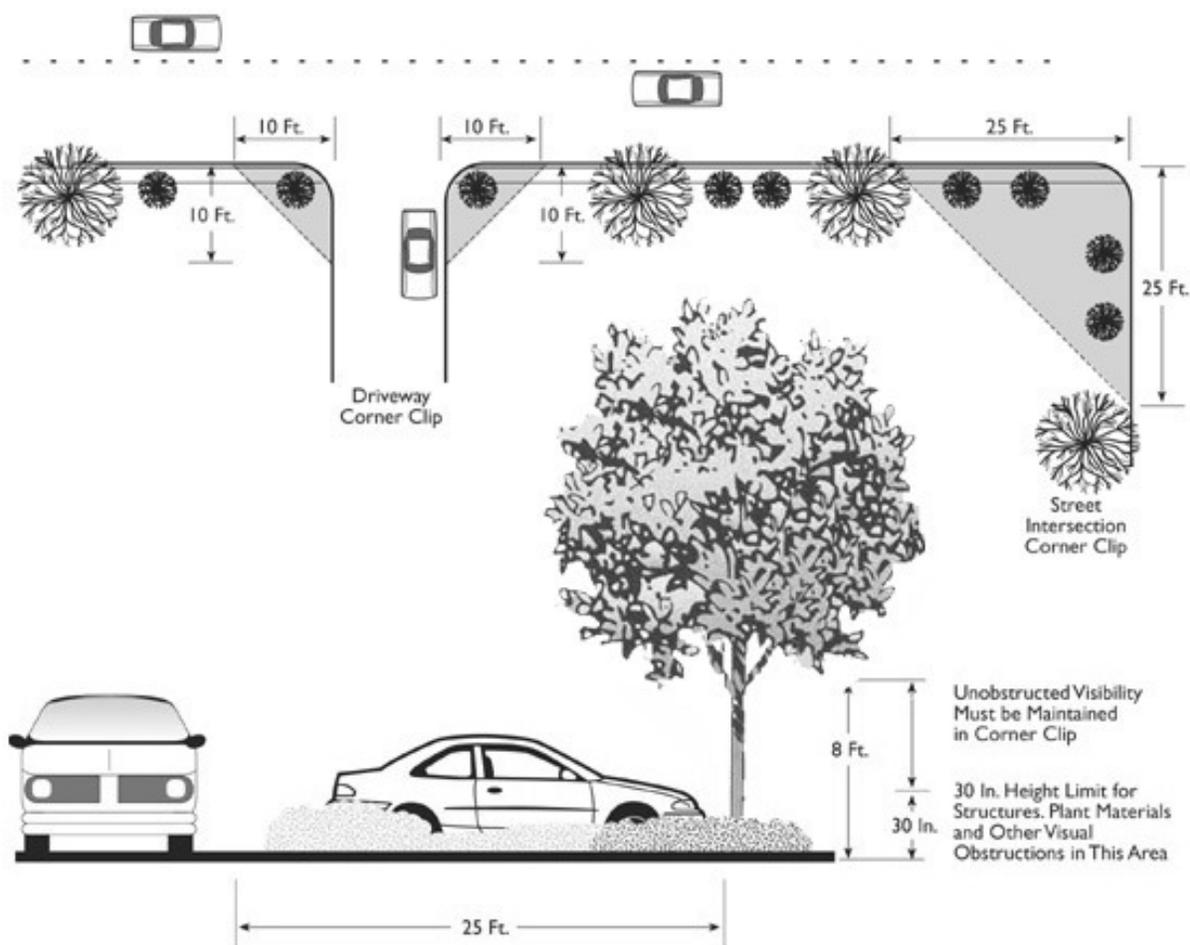
**Section 13 Corner Clips**

Landscaping within corner clip and visibility triangles required by [Article 11, SUBDIVISION, PLATTING, AND REQUIRED IMPROVEMENTS](#), shall be subject to the following limitations.

- A. An area of unobstructed visibility shall be maintained between 30 inches and eight feet above the crown of the adjacent roadway.
- B. Vegetation located adjacent to and within corner clip areas shall be trimmed so that limbs or foliage do not extend into the required visibility area.
- C. All landscaping in a corner clip shall be planted and perpetually maintained by the property owner, except where maintained by another entity such as a Homeowner’s Association (HOA).

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Figure 7.D.13-8– Corner Clip Visibility Requirements



**Section 14 Grade Changes**

**A. Grade Changes Equal to or Greater than Four Feet**

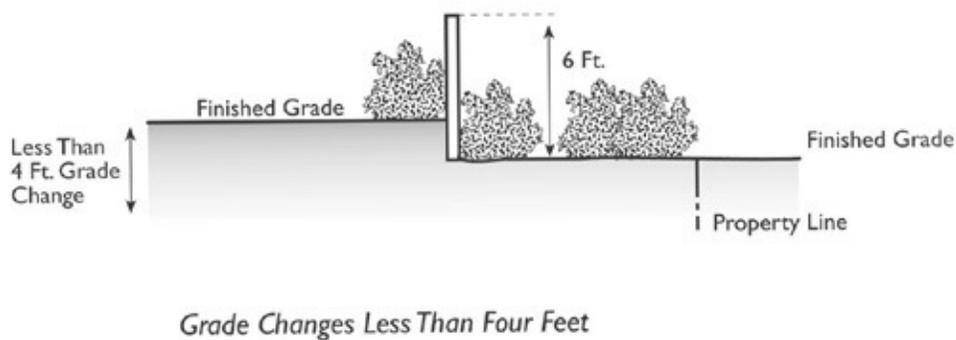
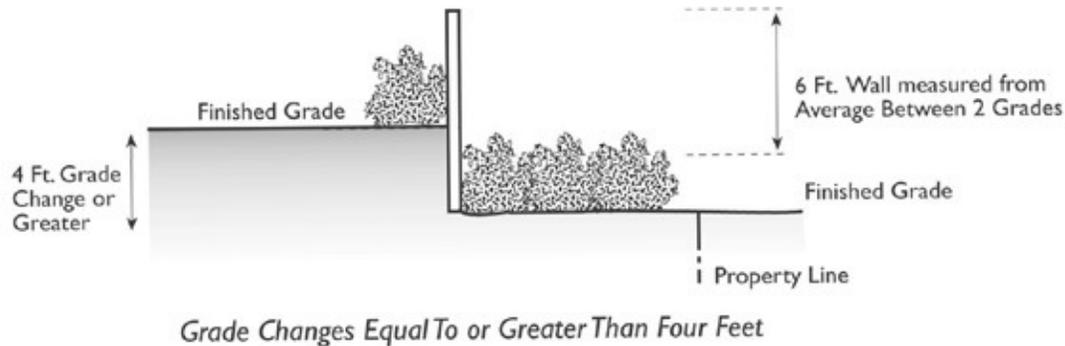
When a landscape barrier separates sites with a finished grade elevation difference of four feet or greater, the height shall be measured from the average finished grade of the two sites.

**B. Grade Changes Less than Four Feet**

When a landscape barrier separates sites with a finished grade elevation difference of less than four feet, the height shall be measured adjacent to the hedge from the lowest grade on either side of the hedge. [Ord. 2005 – 002]

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**Figure 7.D.14.B-9 – Buffers with Grade Changes**



## **CHAPTER E INSTALLATION, MAINTENANCE, PRUNING AND IRRIGATION**

The following standards are the minimum for required installation, maintenance, irrigation, and replacement of trees and landscape material.

### **Section 1 General**

Plant material shall:

- A. Be planted in soil and conditions appropriate for their growth habits.
- B. Be appropriate for the USDA plant hardiness zone and ecological setting in which they are to be planted.
- C. Be compatible with existing native plants in the area through similar ornamental properties and physical requirements (e.g. water use, soil conditions).

### **Section 2 Plant Quality**

Plants installed pursuant to this Article shall conform to or exceed the minimum standards for Florida Number 1, as provided in the most current edition of "[Grades and Standards for Nursery Plants, Parts I and II](#)", prepared by the State of Florida Department of Agriculture and Consumer Services, see [Appendix B](#) for Examples of Florida Number 1 Quality Plants, A different minimum standard may be approved for native plants installed in accordance with an approved ALP if an applicant demonstrates that sufficient quantities of commercial stock meeting the Florida Number 1 standard are not available. All plants shall be clean and free of noxious pests and/or diseases.

### **Section 3 Installation**

All landscaping shall be installed according to acceptable nursery practices in a manner designed to encourage vigorous growth. Soil improvement measures may be required to ensure healthy plant growth. Before planting, a plant or tree's growth characteristics shall be considered to prevent conflicts with views, lighting, infrastructure, utilities, or signage. Proposed infrastructure, lighting, and signage plans shall be submitted concurrent with landscape plans prior to issuance of a building permit.

**A. Planting Specifications**

Required trees and palms shall be securely guyed, braced, and/or staked at the time of planting until establishment. All plants shall be installed so that the top of the rootball remains even with the soil grade. The top one-third of burlap shall be removed from the root ball at planting. If used, nylon strapping and wire cages shall be completely removed at installation. All guys and staking material should be removed when the tree is stable and established but in no case more than one year after initial planting of tree. Construction debris shall be kept clear from the planting area.

**B. Phasing**

Required landscaping may be installed in phases, if designated on the approved site plan, as follows:

**1. Planned Developments**

The number of trees required to be planted or preserved in a construction phase of a planned development shall be a proportion of the total number of trees required to be planted in the overall planned development. This proportion shall be determined by comparing the area of the phase plan to the area of the entire planned development as shown on the approved plan. Areas of vegetation required to be preserved shall be excluded from this calculation.

**2. Other Developments**

The entire perimeter landscaping shall be installed prior to the issuance of the first Certificate of Occupancy (CO) or in accordance with a phasing plan approved by the DRO.

**3. Suspended Phasing**

Required installation may be phased into a project for up to one year from initial occupancy with Zoning Division approval of a installation schedule.

**Section 4 Maintenance**

A. PBC is responsible for the care and maintenance of the trees and vegetation on PBC-owned property, unless provided for otherwise by DO condition of approval. For all other properties, the property owner or successors in interest, contractor, or agent, if any, shall be jointly and severally responsible for the following:

**B. Vacant Lots**

**1. Affected Parties**

Any owner of a vacant lot in a residential neighborhood upon which a home has been demolished to the extent that it no longer qualifies for a certificate of occupancy must follow the maintenance requirements of [Art. 7.E.4.B.5, Vacant Lot Maintenance and Planting Requirements](#), if the vacant lot, by itself or in combination with other vacant lots resulting from the demolition of a home or homes, results in significant degradation of the surrounding neighborhood as defined in Art. 1.I, Definitions and Acronyms (Significant Degradation). In the event significant degradation occurs, all contiguous vacant lots that contribute to the significant degradation will be subject to [Art. 7.E.4.B.5, Vacant Lot Maintenance and Planting Requirements](#). **[Ord. 2005 – 002]**

**2. Applicability**

Art. 7.E.4.B, Vacant Lots shall apply to the Urban/Suburban Tier in the unincorporated areas of Palm Beach County, as defined in the Plan. **[Ord. 2005 – 002]**

**3. Vacant Lot Exemptions**

The following vacant lots shall be exempt from the requirements of Art. 7.E.4.B, Vacant Lots.

- a. Vacant lots resulting from the demolition of a home based on a declaration by the building official that the home is unsafe. **[Ord. 2005 – 002]**
- b. When an owner initiates redevelopment of a vacant lot within 120 days of demolition, as evidenced by submittal of a building permit application for site plan approval, or other applicable development permit application or good faith effort to redevelop the lot, for so long as the permit or good faith effort is active. In order to receive an exemption at the

time of a demolition permit application, the applicant must submit an affidavit stating that the applicant expects to meet the above requirements. The affidavit shall be made on a form established by the Zoning Director. If an exemption is granted based on an affidavit, the property owner shall submit evidence as required above within 120 days of completion of the demolition, or shall submit a planting plan within 30 days of the expiration of the 120 day period. [Ord. 2005 – 002]

- c. Vacant lots where the home was demolished prior to April 23, 1996. [Ord. 2005 – 002]
- d. Vacant lots resulting from eminent domain proceedings. [Ord. 2005 – 002]
- e. Vacant lots resulting from demolition of a home using funding from a demolition program of the Department of Housing and Community Development. [Ord. 2005 – 002]

**4. Vacant Lot Variance**

A property owner may apply for a variance subject to [Art. 2.D.3, Administrative Variance](#), as may be amended. [Ord. 2005 – 002]

**5. Vacant Lot Maintenance and Planting Requirements**

**a. Ground Treatment**

Vacant lots regulated by this Section must be cleared of construction materials and debris, and must be planted with sufficient ground treatment to cover the entire lot in accordance with [Art. 7.D.4, Ground Treatment](#). Existing ground treatment may be used to meet the requirements of this Section. The clearing and planting must be completed within 120 days of the completion of demolition, within 120 days of the effective date of this section, or within thirty days of Department approval of a planting plan, whichever is later. Slab foundations or other structural features remaining from demolished houses, or from other demolished structures, must be removed from vacant lots regulated by this section. [Ord. 2005 – 002]

**b. Trees**

Trees shall be planted or preserved in accordance with the requirements of [Table 7.C.3 – 1, Minimum Tier Requirements](#), and [Art. 7.D.2, Trees](#). Trees shall be native or drought tolerant. [Ord. 2005 – 002]

**c. Existing Trees**

Preservation of existing native trees is encouraged and credit shall be given towards the above requirements. If existing native trees are removed, they shall be replaced in accordance with the standards in [Table 7.D.2.D–4, Tree Credit and Replacement](#), or [Art. 7.E.4.B.5.b, Trees](#), whichever is greater. The size of replacement trees shall be in accordance with [Art. 7.D.2, Trees](#). [Ord. 2005 – 002]

**d. Prohibited Plant Species**

Existing prohibited plant species must be removed and trees replaced on a one-to-one basis with a native tree. Replacement trees for removed prohibited plant species shall be consistent with the interior landscape requirements of [Art. 7.D.2, Trees](#). [Ord. 2005 – 002]

**e. Removal**

Removal shall be consistent with the provisions of [Art. 14.C, Vegetation Preservation and Protection](#). [Ord. 2005 – 002]

**f. Vacant Lot Planting Plan Application and Approval**

**1) Planting Plan**

The owner shall submit a planting plan indicating the method of ground treatment, existing and replacement trees, and irrigation simultaneously with the application for a demolition permit. [Ord. 2005 – 002]

**2) Demolition Permit**

The Building Division shall not issue the demolition permit until a planting plan is approved by the Zoning Division unless the applicant signs an affidavit in accordance with [Art. 7.E.4.B.3.b](#). [Ord. 2005 – 002]

**3) Review of Planting Plan**

The Zoning Division shall determine if the planting plan is sufficient and includes the information necessary to evaluate the plan within five days of receipt. The Zoning Division shall approve, approve with conditions, or deny the plan within ten days of the determination of sufficiency. If necessary, the Zoning Division or Environmental

Resources Management Department shall conduct a site visit as part of the plan review. **[Ord. 2005 – 002]**

**4) Standards**

The Zoning Division shall consider the following criteria in reviewing the planting plan: 1) whether or not the ground treatment and other landscape materials are consistent with the established character of the neighborhood; 2) whether or not the proposed planting is consistent with the applicable Crime Prevention Through Environmental Design principles contained in Art. [3.B.7.E.2.C, Crime Prevention Through Environmental Design \(CPTED\)](#). Whether or not alternative or temporary irrigation methods such as hand-watering are acceptable. **[Ord. 2005 – 002]**

**g. Vacant Lot Plant Installation, Maintenance, Pruning And Irrigation**

Native vegetation, drought tolerant vegetation, or ground treatment shall be installed, maintained, pruned and irrigated in accordance with the requirements of Art. 7.E, Installation, Maintenance, Pruning and Irrigation, as may be amended from time to time, and conditions of approval for the planting plan in Art. 7.E.4.B.5.f.1 above. Temporary irrigation methods may be approved for native vegetation only, subject to a maintenance/replacement agreement. **[Ord. 2005 – 002]**

- C. Regular maintenance of all landscaping is required. All landscaping shall be free from disease, pests, weeds, and litter. Maintenance shall include weeding, watering, fertilizing, pruning, mowing, edging, mulching, or any other actions needed, consistent with acceptable horticultural practices.
- D. Regular maintenance, repair, or replacement of landscape barriers and focal points, including landscape structures (e.g., walls, fences, fountains, and benches) in order to keep them in a structurally sound condition.
- E. Perpetual maintenance to prohibit the reestablishment of prohibited and non-native invasive species within landscape and preservation areas.
- F. Periodic maintenance to remove diseased or damaged limbs, or remove limbs or foliage that present a hazard. All trees and palms shall be allowed to grow to their natural mature height and to full canopy. No canopy tree shall be pruned until it has reached the minimum 20 foot required height and canopy spread, unless required to address damage by natural causes, such as hurricanes.
- G. Landscape areas which are required to be created or preserved by this Article shall not be used for temporary parking or the storage/display of materials or sale of products or services.

**Section 5 Pruning After Installation**

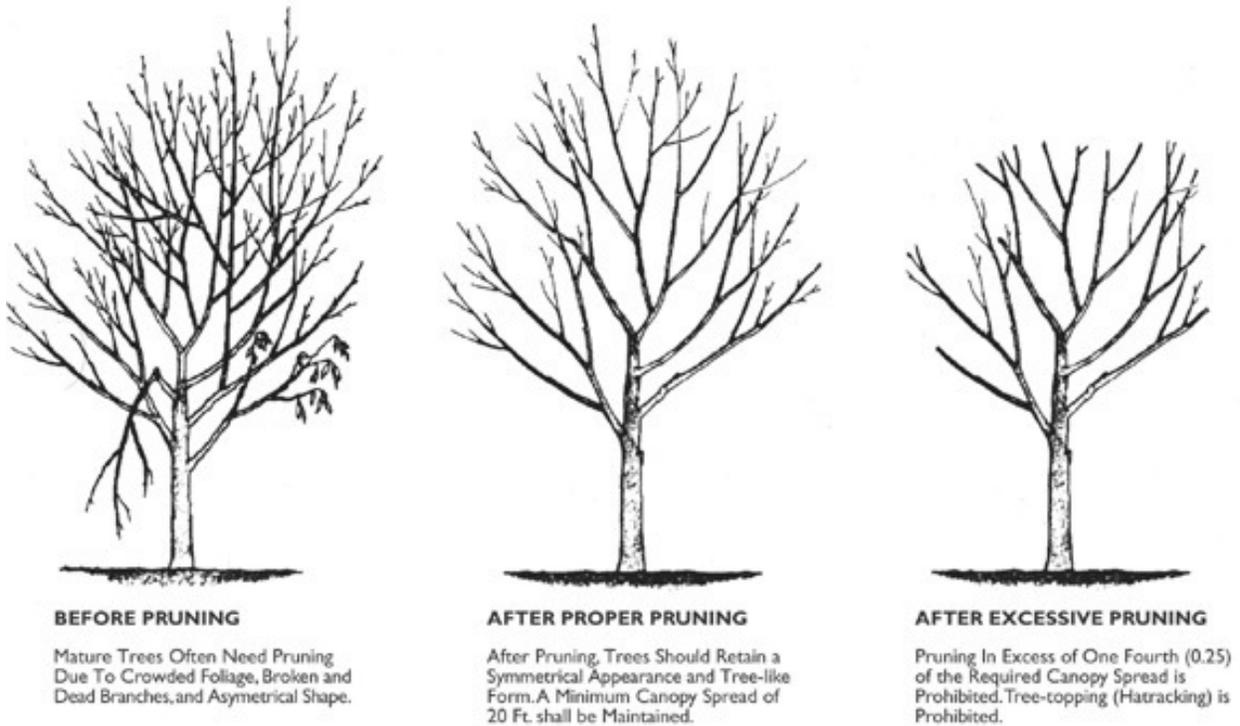
Pruning is permitted after installation to allow for healthy growth, to promote safety considerations, and enhance the aesthetic value of plant material. Trees that conflict with views, signage, or lighting shall not be pruned more than the maximum allowed. Trees shall not be pruned to reduce the canopy spread to less than 20 feet or pruned in conflict with the maintenance standards above. Pruning practices shall conform to the guidelines in Tree Care Tips – A Guide to Proper Pruning Techniques, published by the Department of Environmental Resources Management (ERM). The Zoning Director may suspend the provisions of this Section upon recommendation from County Landscape Staff additional pruning is necessary for plant growth, safety, or aesthetics.

**A. General Pruning Requirements**

- 1. A maximum of one-fourth of the tree canopy may be removed from a tree within a one year period, provided that the removal conforms to the standards of crown reduction, crown cleaning, crown thinning, crown raising, vista pruning, and crown restoration pruning techniques. All pruning shall comply with the [American National Standards Institute, ANSI 300-2001 \(Tree, Shrub and other Woody Plant Maintenance\)](#), as amended. The crown of a tree required by this Code or condition of approval shall not be reduced below the minimum spread or height requirements of [Article 7.D.2.A, Canopy Trees](#), or specific conditions of approval. A tree which is pruned in excess of these requirements shall be replaced with a tree that meets the minimum requirements of [Article 7.D.2.A, Canopy Trees](#), and [Table 7.D.2.D-4, Tree Credit and Replacement](#).

2. If other than the mature height and spread is desired for any required tree, the size and shape shall be indicated on an approved site plan, planting plan, landscape plan, or ALP. Shaping of a tree shall be permitted if the tree is to be used as an accent, focal point, or as part of an overall landscape design. A maintenance program shall be clearly outlined on the approved landscape plan to explain the care and upkeep of a shaped tree.
3. When cutting back trees, care shall be taken to promote the shape and form typical of the tree's species in similar settings in PBC.
4. Tree topping (hatracking) is prohibited.
5. No large or medium canopy trees shall be pruned before it has reached a minimum 20 foot canopy height and spread.

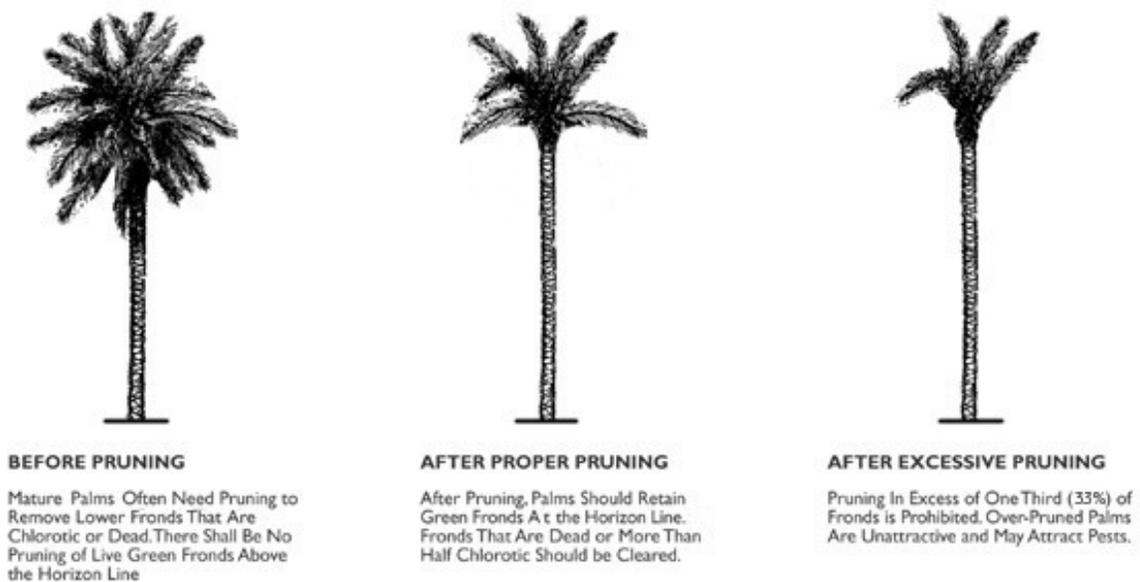
**Figure 7.E.5.A-10 – Pruning Guidelines**



**B. Palm Pruning Requirements**

1. No more than one-third of fronds shall be removed.
2. No pruning above the horizon line, except for dead or diseased fronds.

**Figure 7.E.5.B-11 – Palm Pruning Guidelines**



**C. Pruning Exemptions**

The following trees and species are exempt from these pruning standards:

1. Trees affected by FAA and airport safety regulations, to the extent required to comply with these regulations.
2. Trees that interfere with corner clips, utility lines, or utility structures, to the extent required to comply with regulations for these areas or structures.
3. Trees that have insect or disease damage, crown dieback, or decay greater than one third of the tree canopy.
4. Trees that have suffered damage due to natural or accidental causes.
5. Trees on single-family lots unless pruned by a commercial tree service business, landscape company, lawn service business, or other related businesses.
6. Trees in botanical gardens, or botanical research centers.
7. Trees under DOT, DEPW, and FPL management.

## **Section 6      Irrigation**

The licensed professional or irrigation contractor responsible for the installation of irrigation shall demonstrate compliance with the following irrigation standards in a form acceptable to the Zoning Division. Landscaped areas shall be irrigated to maintain required plant materials in good and healthy condition. Irrigation systems shall comply with the following standards:

- A. The landscape design and final landscape plan shall incorporate acceptable xeriscape industry standards.
- B. All landscaped areas requiring irrigation shall be provided with an automated irrigation system that provides 100 percent coverage. Areas requiring minimal irrigation to establish plants shall use drip irrigation.
- C. Irrigation systems shall be designed to apply water to shrub and tree areas on a less frequent schedule than lawn areas. A rain-sensor switch shall be installed on systems with automatic controllers.
- D. Irrigation systems shall be designed as not to overspray water impervious areas. All irrigation systems shall be continuously maintained in working order.
- E. Where feasible, irrigation systems shall not be installed or maintained on areas adjacent to a public street which causes water from the system to spray onto the roadway or strike passing pedestrian or vehicular traffic.
- F. The use of irrigation quality or re-used water is encouraged for parks and recreation facilities:
  1. Within the Irrigation Quality (IQ) effluent water service area of the PBCWUD; or
  2. Where irrigation quality or re-used water is available and where such reuse is approved by the regulatory agencies.
- G. Permanent irrigation systems are not required for areas set aside on approved site development plans for preservation of existing native vegetation.
- H. Temporary irrigation systems installed pursuant to acceptable xeriscape practices may be used to meet the standards of this Section, upon approval of the Zoning Division.

## **Section 7      Restoration and Maintenance**

Required or preserved vegetation that becomes damaged, diseased, removed or is dead shall be immediately replaced with plant material to comply with the approved standards and height requirements of this Article or conditions of approval, whichever is greater. Trees that are removed or damaged, shall be replaced in accordance with the tree replacement credit standards of [Table 7.D.2.D-4, Tree Credit and Replacement](#). Landscape trees planted or preserved to meet the minimum landscape code requirements may be removed provided a Tree Removal Permit is approved. **[Ord. 2005 – 002]**

## **CHAPTER F    PERIMETER BUFFER LANDSCAPE REQUIREMENTS**

Landscape buffers shall be installed and maintained in accordance with the following standards.

### **Section 1      Buffer Types**

#### **A. R-O-W**

R-O-W buffers shall be provided along all street R-O-W, except for alleys.

#### **1. Exceptions**

R-O-W buffers are not required for individual single-family residential, ZLL, or townhouse lots.

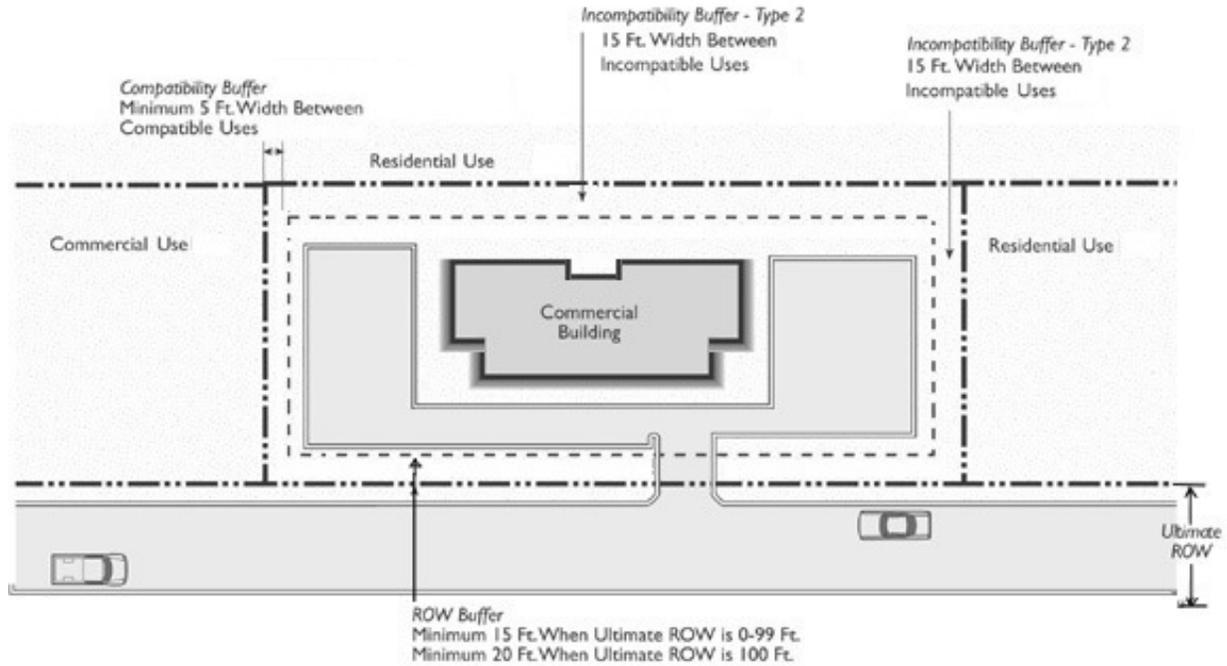
**B. Compatibility**

Compatibility buffers shall be provided between all compatible use types, excluding: single family residential subdivisions or pods adjacent to single family residential subdivisions or pods and internal buffers within TDD's.

**C. Incompatibility**

Incompatibility buffers shall be provided between all incompatible use types or incompatible pods.

**Figure 7.F.1.C-12 – Buffer Type Detail**



**Section 2 Trees, Shrubs, and Hedges**

Trees, shrubs, and hedges shall be provided in all perimeter buffers in accordance with the following standards:

**A. Trees**

**1. Minimum Tree Quantities**

**a. R-O-W Buffers**

One canopy tree per 25 lineal feet.

**b. Compatibility Buffers**

One canopy tree per 25 lineal feet.

**c. Incompatibility Buffers**

One canopy tree per 20 lineal feet.

**2. Palms**

Palms planted in groups of three or more may be counted as one required canopy tree, up to a maximum of 25 percent of all trees required in each buffer. In the case of palm species that characteristically grow in clumps, each clump may be counted as one canopy tree.

**a. Exception**

In R-O-W buffers only, Royal, Bismarck, Phoenix, Canary, Date or similar palm species determined to be acceptable by the Zoning Division may be counted as one required canopy tree. These palms shall be spaced a maximum of 20 feet on center and have a minimum of 12 feet of clear trunk, except Royals which shall require a six feet minimum Grey Wood.

**3. Slash Pines**

Slash pines planted in groups of three or more may be counted as one required canopy tree. Each group of slash pines shall be staggered in height and average a minimum of ten feet in height.

**B. Shrubs**

Shrubs shall be installed according to [Table 7.F.7.B-6, R-O-W Buffer Types](#).

**C. Hedges**

Hedges may be used in place of required shrubs in compatibility and incompatibility buffers. Hedges, in combination with a berm, shall be installed in a manner that provides the minimum height required for continuous solid opaque screen at time of planting.

**Section 3 Walls and Fences**

If a wall or fence is used, a minimum of 75 percent of the required trees shall be located between the exterior of the wall or fence along the R-O-W or facing adjacent property. Shrubs or hedges shall be installed on both sides of the wall or fence. If a wall with a continuous footer is used, a minimum of ten clear feet of planting area shall be provided.

**A. Conflict with Easements**

If the placement of the wall or fence conflicts with an easement, the wall or fence shall not encroach upon the easement unless consistent with [Article 3.D, PROPERTY DEVELOPMENT REGULATIONS \(PDRS\)](#).

**B. Architectural Treatment**

If a wall is used in a compatibility or incompatibility buffer, both sides of a wall shall be given a finished architectural treatment that is compatible and harmonious with adjacent development.

**C. Chain Link Fences**

Vinyl coated chain link fences are permitted only if used in the R-O-W buffer, installed behind an opaque six foot high hedge or approved by the BCC, ZC, or BA.

**Section 4 Dedications**

Required landscape buffers within or around residential pods of Planned Developments shall be platted and dedicated as separate tracts of land.

**Section 5 Area Measurement**

The width of access ways that traverse required perimeter landscape buffers shall be included in the calculation of linear dimension.

**Section 6 Buffer Width Reduction**

The required buffer width may be reduced by 50 percent where a project is separated from a R-O-W by a canal, lake, open space, or combination thereof, with a minimum width of 80 feet. The DRO may reduce the required incompatibility buffer width by 50 percent for pods adjacent to a canal, lake, or open space area 100 feet in width or if the same type of buffer exists on the adjacent property. The quantity of required plant material shall not be reduced in proportion to the reduction in the buffer width. A minimum of five clear feet for planting, or ten feet if a wall with a continuous footer is used, shall be maintained.

**Section 7 R-O-W Buffer**

**A. Width**

The total width of the buffer along streets, thoroughfares, or other means of vehicular access shall depend on the width of the street's ultimate R-O-W as indicated in [Table 7.F.7.A-5, Width of R-O-W Buffer](#). The width of the ultimate R-O-W shall be determined by reference to the Thoroughfare R-O-W Identification Map in the Plan, or as determined by the County Engineer. R-O-W widths for non-thoroughfare plan streets shall be determined by reference to [Article 11.C.1.C.1, Access and Circulation Systems](#).

**Table 7.F.7.A-5 - Width of R-O-W Buffer (Feet)**

| Width of Ultimate R-O-W (Feet) | Minimum Width of Buffer (Feet) |
|--------------------------------|--------------------------------|
| 100+                           | 20                             |
| 0-99                           | 15                             |

**B. Shrub Hierarchy**

R-O-W buffers shall include each of the shrub types listed in [Table 7.F.7.B-6, R-O-W Buffer Shrub Types](#).

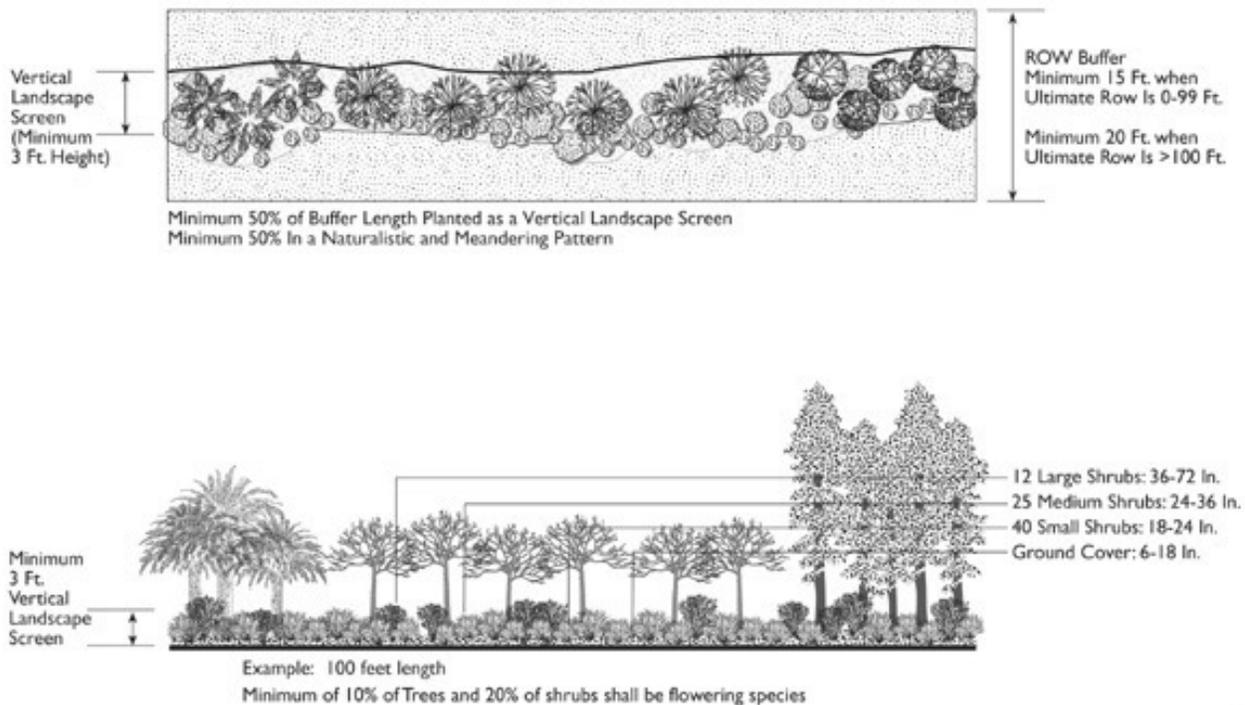
**Table 7.F.7.B-6- R-O-W Buffer Shrub Types**

| Shrub Type    | Minimum Spacing at Installation | Minimum Height at Installation | Minimum Percentage of Buffer Length | Minimum Height at Maturity |
|---------------|---------------------------------|--------------------------------|-------------------------------------|----------------------------|
| Ground Cover  | 6 inches                        | 6 inches                       | 100 percent                         | n/a                        |
| Small Shrubs  | 24 inches                       | 18 inches <sup>1</sup>         | 50 percent                          | 24 inches                  |
| Medium Shrubs | 30 inches                       | 24 inches <sup>1</sup>         | 25 percent                          | 36 inches                  |
| Large Shrubs  | 48 inches                       | 36 inches <sup>1</sup>         | 25 percent                          | 48 inches                  |

**Notes**

1. May be reduced by six inches for use of native plant material.
2. Refers to area planted, not including spread of the shrubs.

**Figure 7.F.7.B-13 – R-O-W Buffer Required Width and Shrub Hierarchy**



**C. Planting Pattern**

A minimum of 50 percent of the buffer width shall be composed of a continuous opaque vertical landscape screen at least three feet in height, planted in a meandering pattern as illustrated in [Figure 7.F.7.B-13, R-O-W Buffer Required Width and Shrub Hierarchy](#), and composed of the shrub types listed in [Table 7.F.7.B-6, R-O-W Buffer Shrub Types](#). The area of the R-O-W buffer not planted with trees and shrubs shall be landscaped with ground cover.

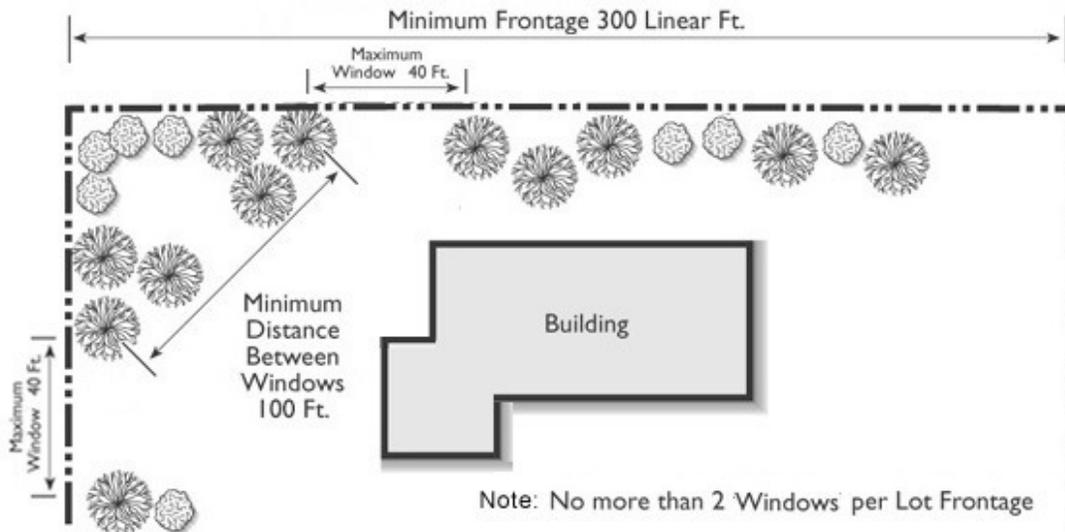
**D. Clustering**

Canopy trees and same species palms may be clustered in R-O-W buffers for non-residential development, subject to the following standards:

1. Clusters shall be spaced no more than 40 feet on center.
2. Clusters shall consist of trees of varied height, which when averaged, equal the minimum tree height requirements of [Article 7.D.2.A, Canopy Trees](#).
3. Created windows shall only be permitted on properties with a minimum of 300 feet of lot frontage.
4. A maximum of two windows are allowed per lot frontage.
5. The minimum distance between open window areas created by clusters shall be 100 feet.

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**Figure 7.F.7.D-14 – Clustering in R-O-W Buffer**



6. In the WCRAO, clustering is not permitted in conjunction with the R-O-W buffer in the NRM, NG, and NC Sub-areas. [Ord. 2006-004]

**E. Walls and Fences**

Walls or fences shall be setback a minimum of ten feet from the edge of the ultimate R-O-W, unless waived or reduced by the County Engineer, provided there remains a minimum of five clear feet for planting, or if a wall with a continuous footer is used, a minimum of ten clear feet for planting.

**Section 8 Compatibility Buffer**

The minimum width of a compatibility buffer is five feet. Compatibility buffers shall provide a continuous solid opaque visual screen at least three feet in height composed of hedges or shrubs, either alone or in combination with a wall, fence or berm. Hedges and shrubs shall reach the required height within two years of installation.

**A. Walls**

Walls used in combination with hedges or shrubs shall not be CBS type with a continuous footer unless a minimum of ten clear feet is provided for landscaping.

**Section 9 Incompatibility Buffer**

An incompatibility buffer shall be required between all incompatible use types or incompatible pods in a Planned Development, in accordance with the requirements of Table 7.F.9.A-7, Incompatibility Buffer Standards, shall provide a minimum six foot high continuous solid opaque visual screen composed of hedges or shrubs, either alone or in combination with a wall, fence, or berm.

**A. Type**

Incompatibility buffers shall be one of the types listed in, [Table 7.F.9.B-8 Required Incompatibility Buffer Types](#).

**Table 7.F.9.B-7 - Incompatibility Buffer Standards**

| Buffer Type | Width (in feet) | Walls Required | Minimum Screen Height (in feet) | Maximum Tree Spacing (in feet, on center) |
|-------------|-----------------|----------------|---------------------------------|---|
| Type 1      | 10              | No             | 6                               | 20  |
| Type 2      | 15              | No             | 6                               | 20  |
| Type 3      | 20              | Yes            | 6                               | 20  |

**B. Determining Incompatibility Buffer Type**

The type of incompatibility buffer required shall be the highest buffer type based on the height or use difference between adjacent uses, in accordance with Table 7.F.9.B-8, Required Incompatibility Buffer Types. In the case of a conflict, the most restrictive buffer type shall be required.

**Table 7.F.9.B-8 - Required Incompatibility Buffer Types**

| Building Height Difference Between Adjacent Uses |              | Required Buffer Type |
|--|--------------|----------------------|
| 14 to 28 ft.                                     |              | Type 1               |
| 28 to 35 ft.                                     |              | Type 2               |
| Greater than 35 ft.                              |              | Type 3               |
| Use Type Difference Between Adjacent Uses        |              | Required Buffer Type |
| Single-Family                                    | Multi-Family | Type 1               |
| Residential                                      | Commercial   | Type 2               |
| Residential                                      | Recreational | Type 2               |
| Residential                                      | Civic        | Type 2               |
| Residential                                      | Agricultural | Type 3               |
| Residential                                      | Industrial   | Type 3               |
| Residential                                      | Utility      | Type 3               |

**Notes:**

1. Buffer for minor utilities shall be determined by the DRO.
2. If the height and use differences in Table 7.F.7.B-6 are not applicable, then a compatibility buffer shall be required. (See Art. 7.F.8, Compatibility Buffer)
3. Determination of use types subject to Art. 4.A.3.A-1, Use Matrix.

**C. Walls and Fences**

Walls used in Type 1 incompatibility buffers shall not be CBS type with a continuous footer unless a minimum of ten clear feet is provided for landscaping.

**1. Existing Walls or Fences**

Where there is an existing wall or fence, the Zoning Division may waive the wall or fence requirement. The following conditions shall be considered when determining if the wall requirements may be waived:

- a. Condition of existing wall;
- b. Effectiveness of visual screen; and
- c. Type of construction.

**D. Berms**

Landscape berms may be used in conjunction with shrubs, hedges, walls or fences to meet minimum visual screen height requirements.

**E. Special Standards**

The DRO may require incompatibility buffers for uses such as recreation and civic areas within a residential subdivision or pod. The DRO may waive the incompatibility buffer for pods adjacent to open space that is 100 feet or greater in width. **[Ord. 2005 – 002]**

**Section 10 WCRAO Exceptions**

**A. Perimeter Buffer Width Reductions**

A required R-O-W or incompatibility buffer width may be reduced by up to 50 percent in the NRM, NG, NC, UG and UI Sub-areas for commercial or mixed use projects, provided that a minimum five foot wide planting areas is provided with no encroachments, and that all other code requirements are met, unless indicated otherwise. A side interior perimeter buffer shall not be required when a zero side setback is used. [Ord. 2006-004]

**B. R-O-W Planting Reductions**

Shrubs and hedges shall not be required for any R-O-W buffer along the Westgate Avenue corridor from Congress Avenue to the L-10 Canal, provided that required trees are planted 20 feet on center. This provision may also be used along the frontage of any mixed use project in the NRM, NC, NG and UG Sub-areas. [Ord. 2006-004]

**C. Parking Lots**

Side interior perimeter buffers are not required where adjacent to a surface parking lot that shares a common border with and is interconnected to an adjacent surface parking lot, subject to DRO approval. [Ord. 2006-004]

**Section 11 Large Scale Commercial Development**

**A. Perimeter Buffer**

In addition to the requirements of this Code, developments with single tenants 65,000 gross square feet or more shall be subject to the following standards: [Ord. 2005 – 002]

**1. R-O-W Buffers**

The width, berm and planting requirements along streets, thoroughfares and/or other means of vehicular access shall be upgraded as follows: [Ord. 2005 – 002]

**a. U/S Tier**

- 1) A minimum 25 foot wide buffer. [Ord. 2005 – 002]
- 2) A three foot high berm. [Ord. 2005 – 002]

**b. Glades and Rural/Ex Tiers**

- 1) A minimum 50 foot wide buffer. If a lake/retention area is located along a R-O-W, the buffer may be split to border the perimeter of the lake, 25 feet along the street and 25 feet along the interior side of the lake. [Ord. 2005-002]
- 2) Required trees, palms and shrubs shall be double the quantities required under Art. 7.F.2, Trees, Shrubs and Hedges. [Ord. 2005-002]

**2. Compatibility Buffers**

The width, berm and planting requirements along property lines adjacent to compatible uses shall be upgraded as follows: [Ord. 2005-002]

**a. U/S Tier**

- 1) A minimum 25 foot wide buffer. [Ord. 2005-002]
- 2) A three foot high berm. [Ord. 2005-002]

**b. Glades and Rural/Ex Tiers**

- 1) A minimum 50 foot wide buffer. [Ord. 2005-002]
- 2) Required trees, palms and shrubs shall be double the quantities required under Art. 7.F.2, Trees, Shrubs and Hedges. [Ord. 2005-002]

**3. Incompatibility Buffers**

The width, berm and planting requirements along property lines adjacent to residential and other incompatible uses, and vacant properties with a residential FLU designation, shall be upgraded as follows: [Ord. 2005-002]

**a. U/S Tier**

- 1) A minimum 50 foot wide buffer. [Ord. 2005-002]
- 2) A four foot high berm. [Ord. 2005-002]
- 3) Required trees, palms and shrubs shall be double the quantities required under Art. 7.F.2, Trees, Shrubs and Hedges. [Ord. 2005-002]

**b. Glades and Rural/Ex Tiers**

- 1) A minimum 50 foot wide buffer. [Ord. 2005-002]
- 2) Required trees, palms and shrubs shall be double the quantities required under Art. 7.F.2, Trees, Shrubs and Hedges. [Ord. 2005-002]

**4. Encroachment**

No easement encroachment shall be permitted in required perimeter buffers, except for bisecting utility easements and required safe sight distance easements not to exceed a maximum of fifty percent of the required buffer width. [Ord. 2005-002]

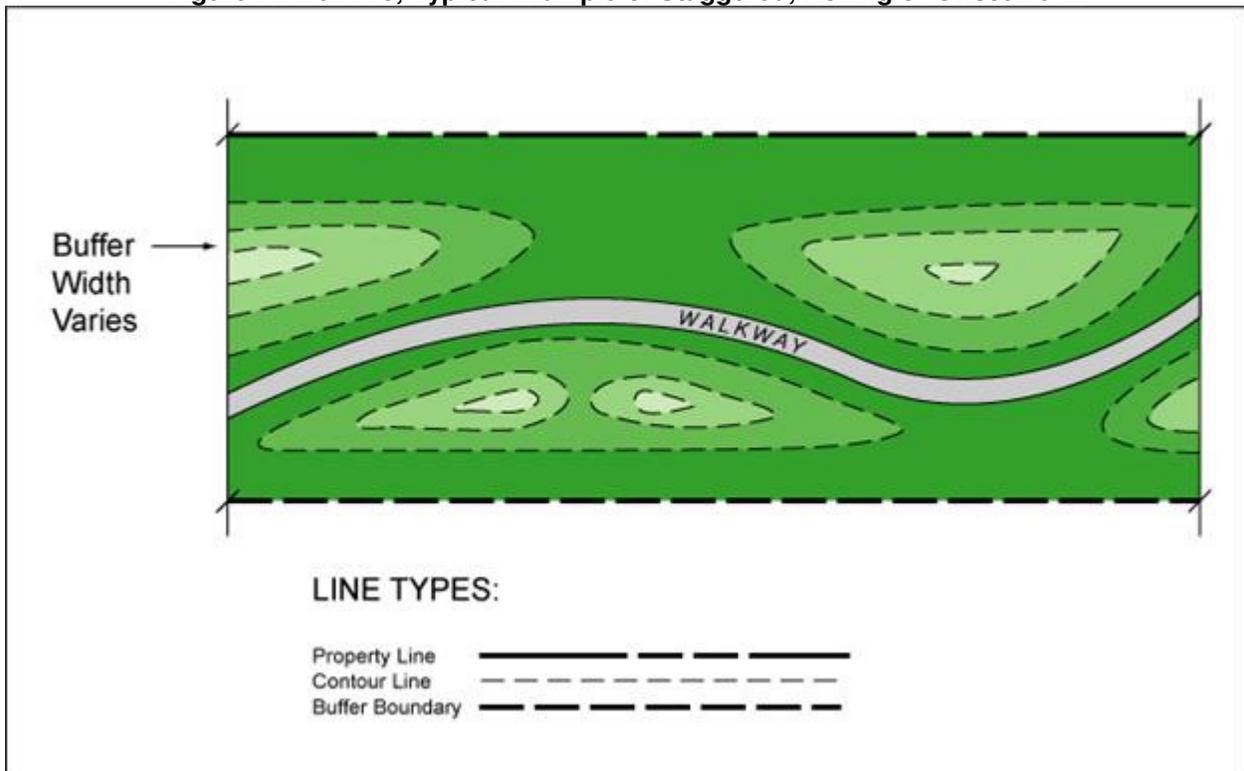
**5. Perimeter Sidewalk**

A perimeter sidewalk a minimum of shall be required in all R-O-W buffers 50 feet in width, and shall meander through the buffer. [Ord. 2005-002]

**6. Berm**

Berms shall be staggered, rolling or offset, as indicated in Figure 7.F.10.A-15, Typical Example of Staggered, Rolling or Offset Berm. [Ord. 2005-002]

**Figure 7.F.10.A-15, Typical Example of Staggered, Rolling or Offset Berm**



[Ord. 2005-002]

**CHAPTER G OFF-STREET PARKING REQUIREMENTS**

Off-street parking and interior vehicular use areas shall be subject to the following landscaping requirements. Planting within perimeter buffers required by [Article 7.F, PERIMETER BUFFER LANDSCAPE REQUIREMENTS](#), shall not be used to satisfy these requirements.

**Section 1 Trees**

A minimum of 75 percent of all trees required in the interior of vehicular use areas shall be canopy trees. Palms may count as one required tree, not to exceed 25 percent of the total required trees.

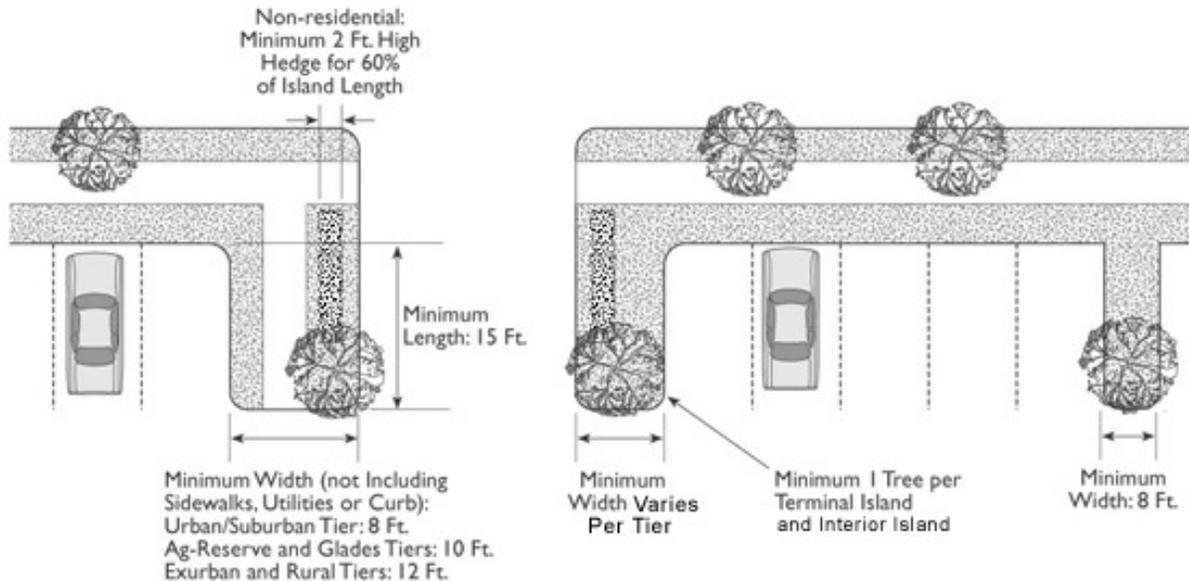
**Section 2 Landscape Islands**

**A. Terminal Islands**

Each row of parking spaces in excess of three spaces, or four spaces in industrial zoning districts, shall be terminated by a landscape island. Terminal islands shall have a minimum length of 15 feet and include a minimum of one tree per island. The minimum width of terminal islands,

exclusive of sidewalks or utilities, shall be subject to the standards of [Table 7.C.3-1, Minimum Tier Requirements](#). For non-residential planned development, terminal islands facing major internal driveways shall be landscaped on both sides with a minimum two foot high continuous opaque hedge for a minimum of 60 percent of the island length. Terminal islands shall not overlap perimeter or other required buffers.

**Figure 7.G.2.A-16 – Terminal and Interior Landscape Islands**



**B. Interior Islands**

Interior landscape islands shall have a minimum length of 15 feet and a minimum width of eight feet landscape area. If an interior island includes a sidewalk or utilities, the minimum width shall increase by the minimum amount necessary to meet the needs of the utility providers or sidewalk. Interior islands shall contain one tree and appropriate ground coverage.

**1. Maximum Spacing**

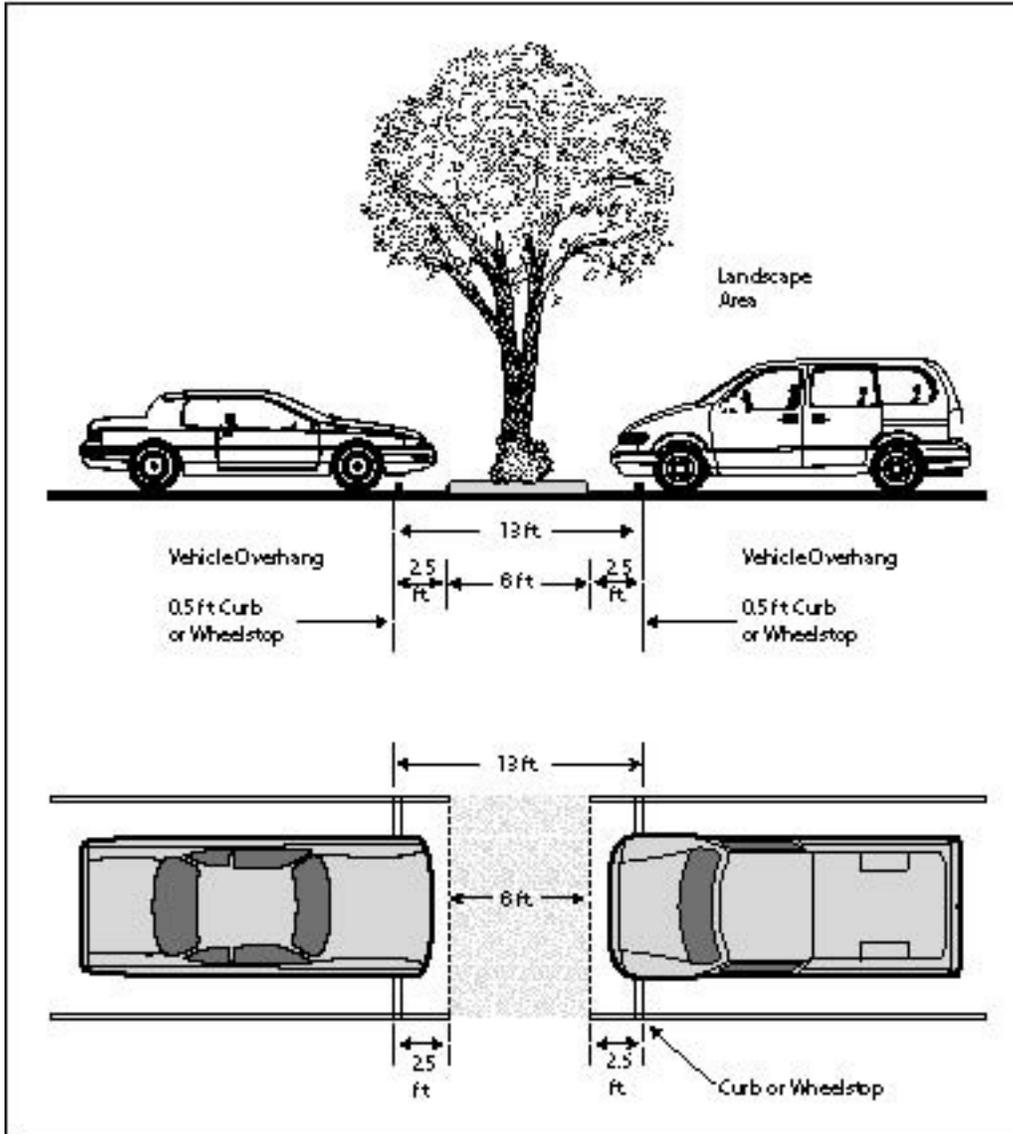
- a. **U/S Tier**  
One per ten spaces (maximum 100 feet apart).
- b. **AGR and Glades Tiers**  
One per eight spaces (maximum 80 feet apart).
- c. **Rural and Exurban Tiers**  
One per six spaces (maximum 60 feet apart).

**C. Divider Median**

Divider medians with a minimum width of eight feet shall be required for parking lots with at least two or more vehicular parking aisles in the U/S, AGR, and Glades Tiers. Divider medians shall be installed between every third row of parking and between all parking/vehicular use areas. Divider medians shall contain a minimum of one canopy tree for every 30 linear feet with a maximum spacing of 30 feet on center, shrubs with a minimum height of three feet and a maximum spacing of 30 inches, and appropriate ground coverage.

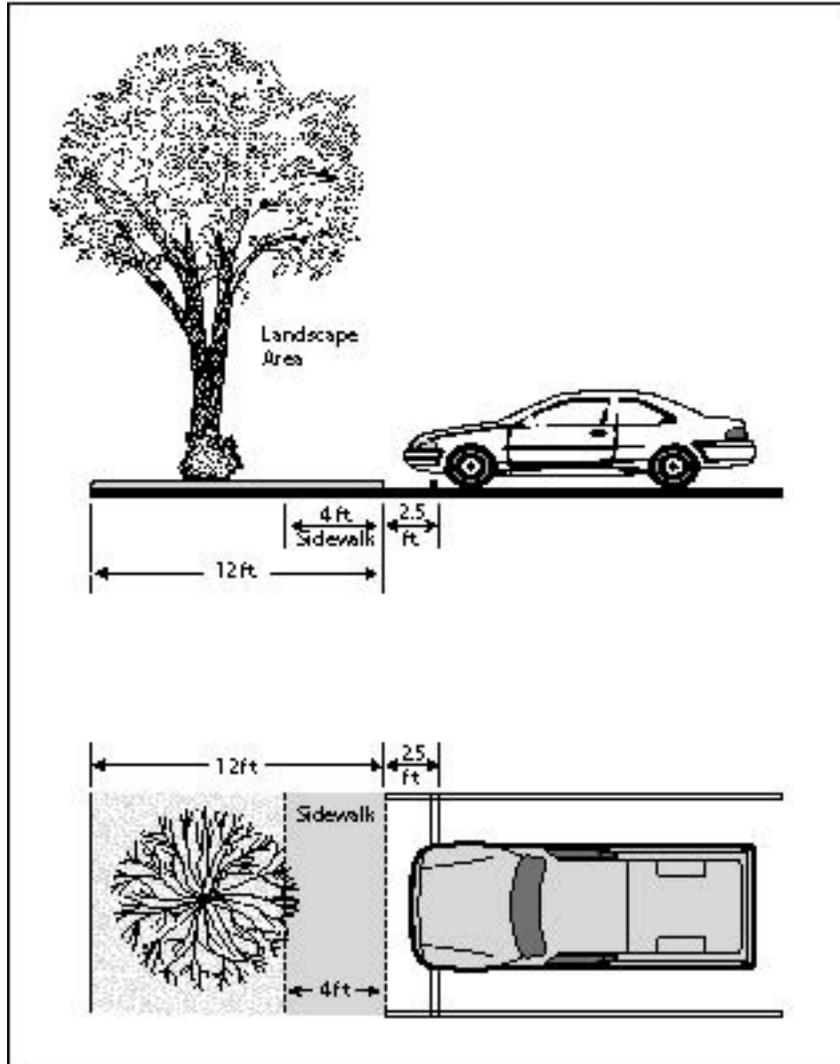
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Figure 7.G.2.C-17 – Divider Median Requirements



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Figure 7.G.2.C-18 – Divider Median Requirements (with Sidewalk)

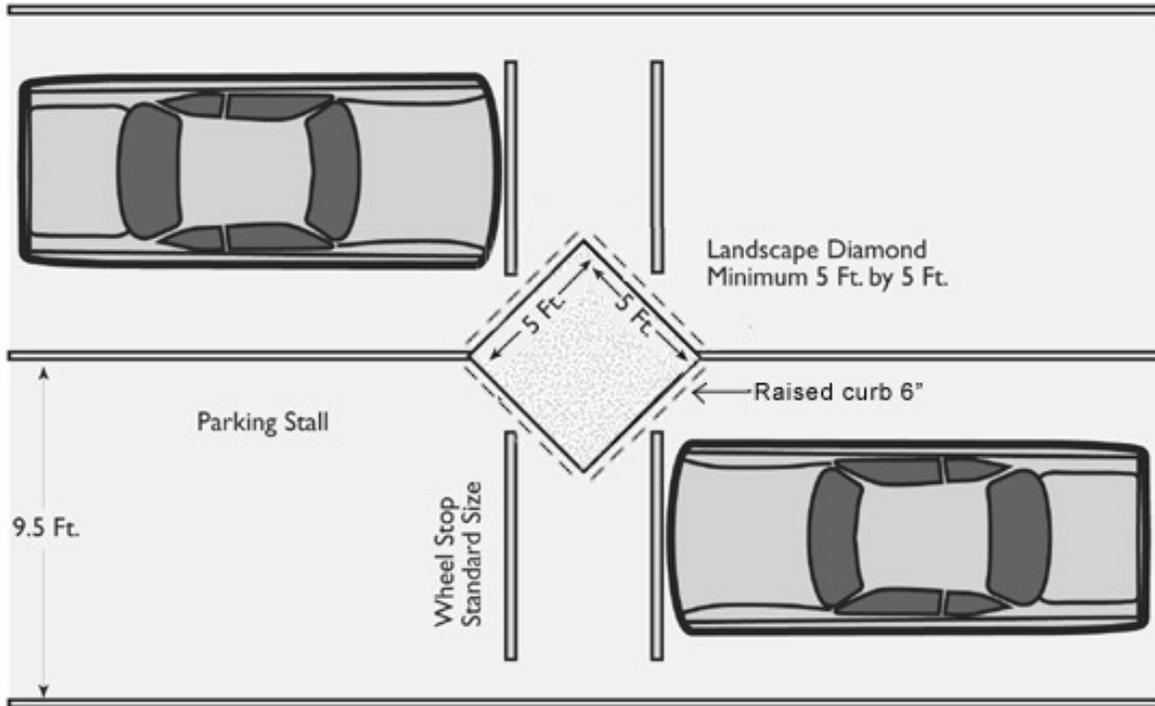


**D. Landscape Diamonds**

Landscape diamonds containing one tree and appropriate ground cover may be distributed throughout the interior of an off-street parking area as an alternative to median islands. Grade level tree planting areas shall be located only at the common intersection of four parking spaces and spaced a maximum of four parking spaces apart. The minimum tree planting area shall be 25 square feet with minimum dimension of five feet by five feet.

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Figure 7.G.2.D-19 – Landscape Diamond Detail



A raised curb is required around the entire landscape diamond when wheel stops are not used

#### E. Landscape Protection Measures

The landscape area adjacent to any off-street parking space or vehicular use area shall be protected from vehicular encroachment by the use of wheel stops or continuous concrete curbing. Alternative protection may be allowed in the AGR, Exurban, Glades and Rural Tiers by the Zoning Division.

##### 1. Curbing

All landscape areas subject to vehicular encroachment shall be separated from vehicular use areas by six inch, non-mountable, FDOT-type "D" or FDOT-type "F", concrete curbing. Curbing shall be machine-laid, formed-in-place or integrally installed with the pavement. Landscaped areas adjacent to vehicular use areas shall be surrounded with a continuous raised curb, except for the following:

- a. Divider medians that abut parking spaces with wheel stops.
- b. Properties located in the AGR, AP, AR, and PO zoning districts.
- c. Alternative landscape protection measures approved by the Zoning Division.

##### 2. Wheel Stops

Wheel stops shall have a minimum height of six inches above the finished grade of the parking area, properly anchored, and continuously maintained in good condition. The space between the wheel stop and the front end of the parking space may be paved for anchoring and maintenance purposes. Wheel stop anchor rods shall be set through the wheelstop and the pavement. The bottom of the wheel stop must rest fully on the pavement to prevent rocking. Public parks in the PO District that are exempt from curbing requirements shall also be exempt from wheel stop requirements. [Ord. 2006-004]

#### F. Parking Structures

Perimeter planters shall be provided along the exterior of parking structures located within 500 feet of a public R-O-W or residential zoning district. Planters shall provide a total of one-half

square foot of planting area for each linear foot of facade per parking level. Planting areas may be arranged in linear fashion or clustered at intervals or on levels, and shall be provided with permanent irrigation to permit watering of plant materials. The perimeter planter requirement may be altered if in conflict with the architectural character of the structure, subject to approval of an ALP.

**G. Alternative Parking Lot Landscaping**

Alternative parking lot landscape designs may be approved under the provisions of [Art. 7.B.3, Alternative Landscape Plan \(ALP\)](#), provided that the total landscaped area and plant material quantities equal or exceed the requirements of this Article. **[Ord. 2005 – 002]**

**CHAPTER H ENFORCEMENT**

**Section 1 Temporary Suspension of Landscape Standards**

The Executive Director of PZB may temporarily suspend the standards of this Article and establish timeframes and guidelines to replace destroyed or damaged landscape material through a Departmental PPM in the following situations: a hurricane; a freeze resulting in unavailability of landscape materials; a period of drought resulting in restrictions on water usage imposed by a governmental authority; or a similar event. **[Ord. 2005-041]**

**A. Performance Surety**

If the landscape standards of this Article are suspended pursuant to this Article, the property owner may enter into an agreement with PBC to allow issuance of the permit or CO or Certificate of Completion provided the property owner includes as part of this agreement adequate guarantee or surety that the terms of this Article will be met after the suspension period has been lifted. The guarantee shall consist of a performance bond or other surety agreement approved by the County Attorney in an amount equal to 110 percent of the direct costs of materials and labor and other costs incidental to the installation of the required landscaping completion agreement. Performance bonds or other guarantees required pursuant to this subsection shall name PBC as a beneficiary and specify the time-frame for the completion of the landscape standards of this Article. **[Ord. 2005-041]**

**B. Application Requirements**

An application for a temporary suspension of landscape standards shall be accompanied by a landscape plan identifying the plantings that have been postponed, the proposed planting schedule, and the costs of the suspended planting. Planting cost estimates may be independently verified by PBC.

**Section 2 Administration**

**A. Field Inspections**

Unless otherwise provided in this Article, all development subject to this Article may be inspected by PZB prior to and after installation of required landscaping. Required landscaping shall be approved by PZB prior to the issuance of a paving permit, CO, or Certificate of Completion, whichever occurs first.

**B. Certification of Compliance**

In addition to initial field inspection and certification by PZB, the landowner shall submit a Certificate of Compliance, in a form approved by the Zoning Director, to the County Landscape Section as a condition of issuance of a CO or Certificate of Completion. This certificate shall be prepared and signed by a landscape architect licensed by the State of Florida and demonstrate that all of the provisions of this Article have been met. The certification statement, included as [Appendix 3.C, Certification of Compliance](#), shall appear on the certification report.

**1. Field Verification of Certification**

PZB may elect to conduct a field inspection to verify the Certificate of Compliance.

**2. Acceptance of Certification**

If no field verification is conducted by PZB within 30 days, the Certificate of Compliance shall be deemed to have been accepted provided it is complete with all the required information.

Upon acceptance, the Certificate of Compliance shall be filed and maintained with the official records of the development.

### **Section 3 Enforcement**

Failure to install or maintain landscaping according to the terms of this Article or any approved plan or permit shall constitute a violation of this Article. PZB may issue a Cease and Desist Order or withhold a CO or Certification of Completion until the provisions of this Article have been met. In the alternative, PZB may refer any violation of this Article to Code Enforcement for corrective action or penalties set forth in [Article 10, ENFORCEMENT](#).

#### **A. Fines**

Violations of the provisions of this Section shall be subject to the following fines or requirements:

1. Such fines, site improvements and replacement landscaping as may be required by Article 10, Code Enforcement, or the PBC Code Enforcement Citation Ordinance. **[Ord. 2005 – 002]**
2. Such fines and imprisonment as provided for in [F.S.§125.69](#); or
3. A triple permit fee for removal of trees without a valid tree removal and replacement permit.

#### **B. Violations**

The following deficiencies shall be considered a separate and continuing violation of this Article:

1. Each tree or shrub that is not properly installed or properly maintained on site as required by this Section;
2. Each day in which landscaping is not properly installed or properly maintained on site as required by this Section; and
3. Each tree removed without a permit.

#### **C. Additional Sanctions**

PBC may take any appropriate legal action, including, but not limited to requiring replacement of landscape material which has been hatracked, damaged and rendered unable to achieve its natural and intended form, administrative action, requests for temporary and permanent injunctions, and other sanctions to enforce the provisions of this Section. **[Ord. 2005 – 002]**

#### **Amendment History:**

**[Ord. 2003-067; January 1, 2004] [Ord. 2005-002; February 2, 2005] [Ord. 2005-041; September 1, 2005] [Ord. 2006-004; March 1, 2006]**

**APPENDIX A – PBCs PREFERRED SPECIES LIST**

PBCs Preferred Species List available at PZB Zoning Division or on-line at PBC PZB Web Page at: <http://www.co.palm-beach.fl.us/epzb/ACommon.asp.html/indexmain.asp>

**Preferred Species List**



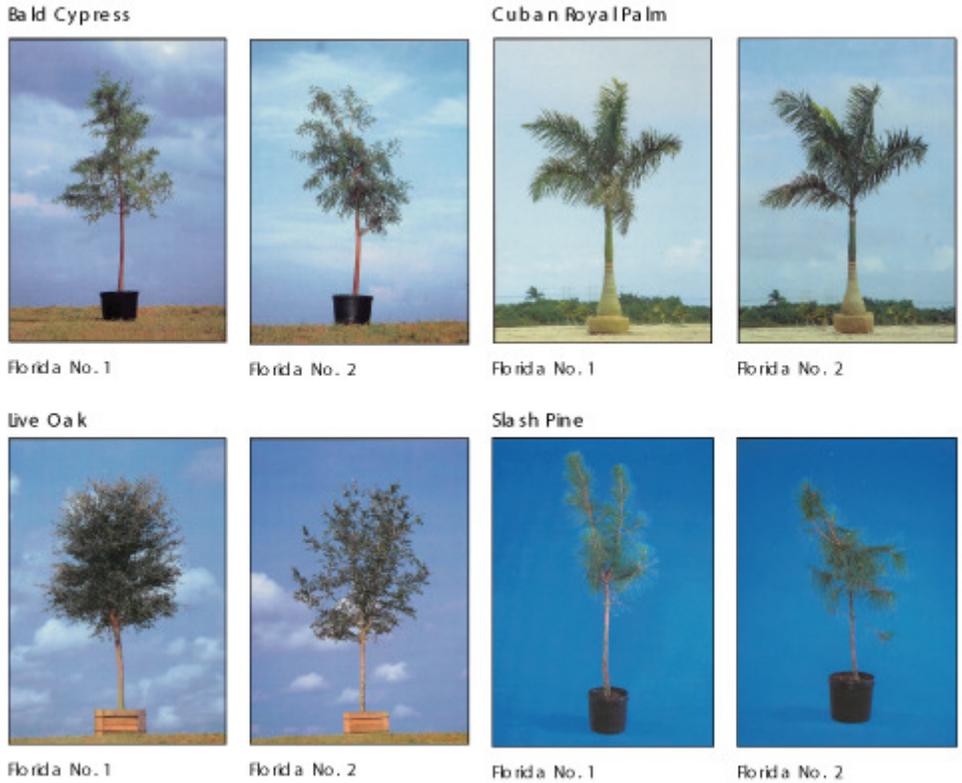
**The Palm County Division has prepared the following list of plants to assist industry and the public with selecting the right plants for appropriate location.**

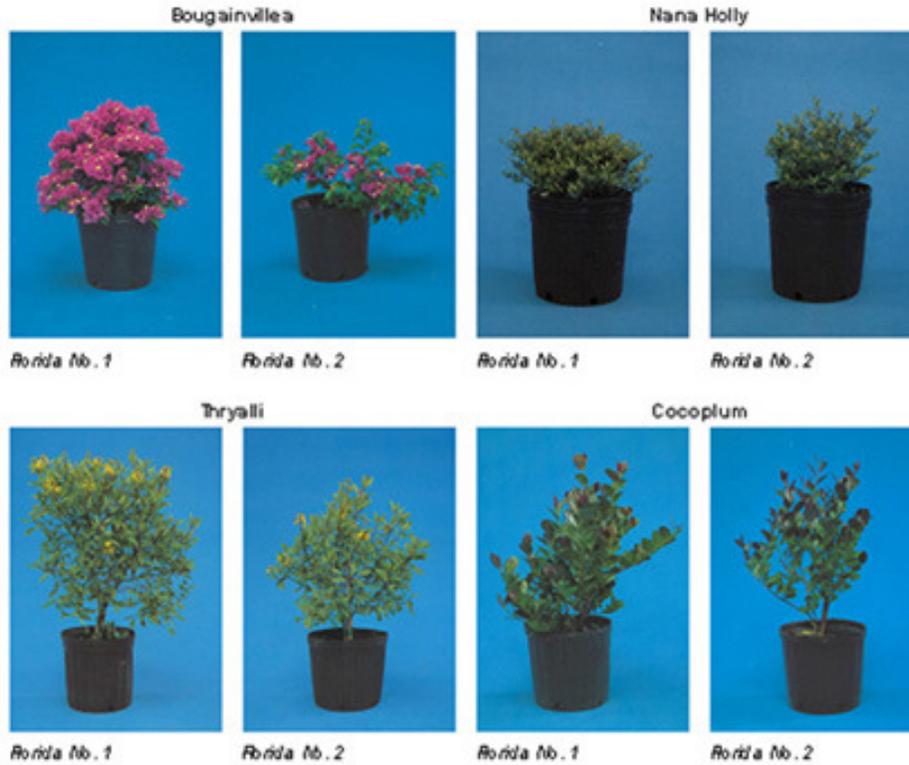
**The list contains trees, palms, shrubs and groundcovers.**

**APPENDIX B – EXAMPLES OF FLORIDA NUMBER 1 QUALITY PLANTS**

The following two pages include photographic examples of Florida Number 1 and Florida Number 2 for selected plant types from the 1998 Edition of the "Grades and Standards for Nursery Plants, Parts I and II", prepared by the State of Florida Department of Agriculture and Consumer Services. Plants installed pursuant to this Section shall conform to or exceed the minimum standards for Florida Number 1.

**Figure 7.A.1.N – Examples of Florida’s Quality Plants**





**APPENDIX C – CERTIFICATION OF COMPLIANCE**

The following certification statement must appear on the Certification of Compliance required by [Art. 7.3.H.2.B, Certification of Compliance](#).

I HEREBY NOTIFY THE PALM BEACH COUNTY DEPARTMENT OF PLANNING, ZONING, AND BUILDING OF THE COMPLETION OF THE INSTALLATION OF LANDSCAPING FOR THE REFERENCED PROJECT AND CERTIFY THAT THE INSTALLATION OF PLANT MATERIAL AND IRRIGATION COVERAGE ARE IN SUBSTANTIAL CONFORMANCE WITH THE PLANS AND SPECIFICATIONS PERMITTED BY THE COUNTY. (A COPY OF THE APPROVED PROJECT DRAWINGS IS ATTACHED, WITH DEVIATIONS, IF APPLICABLE). SEAL, THIS DAY OF \_\_\_\_\_, 20\_\_.

Signature and seal: \_\_\_\_\_ Date: \_\_\_\_\_

Name: \_\_\_\_\_

Registration Number: \_\_\_\_\_

**APPENDIX D – CHECKLIST OF STANDARDS THAT CAN BE ALTERED WITH AN APPROVED ALP**

This checklist indicates which standards in this Article can be altered with an approved ALP.

**Table 7 – Appendix D - Checklist of Standards for ALP**

|  | Specific Regulation  | Standard can be modified with an approved ALP |
|--|--|---|
| <b>Plant Quality and Quantity</b>                        |  |   |
| <b>Perimeter Buffers</b>                                 |  |   |
| Trees  |  | No  |
| Minimum Number of Canopy Trees                           | 1 tree per 25 lineal ft.   |   |
| Minimum Shrub Percentage of Buffer Length (R-O-W Buffer) | 100 percent for ground cover   |   |
|  | 50 percent for small   |   |
|  | 25 percent for medium  |   |
|  | 25 percent for large   |   |
| Spacing for Hedges                                       | 24 in. on center   | Yes   |
| <i>R-O-W Buffers</i>                                     |  |   |
| Minimum Width  | 20 ft. (100+ ft. R-O-W)  | No (1)  |
|  | 15 ft. (0-99 ft. R-O-W)  |   |
| Planting Pattern   | Minimum 50 percent of buffer width in meandering pattern   | No (1)  |
| Shrub Hierarchy  | U/S Tier: 3 shrub types  | No (1)  |
|  | AGR and Glades Tiers: 4 shrub types.   |   |
|  | Exurban and Rural Tiers: 4 shrub types   |   |
| Clustering   | Allowed if clusters 40 ft. apart; on property with 300 ft. of frontage and have trees of varied height   | Yes   |
| Walls and Fences   | R-O-W Setback: 10 ft.  | Yes   |
|  | 75 percent of landscaping must be on the exterior side   | Yes   |
| Width reduction  | May be reduced 50 percent if separated from street by open space, canal or lake with a min. 80 ft. width | Yes   |
| <b>Compatibility Buffers</b>                             |  |   |
| Required Location  | Between all compatible use types (except Single Family residential)                                      |   |
| Minimum width  | 5 ft.  |   |
| Minimum height   | 3 ft.  |   |
| <b>Incompatibility Buffers</b>                           |  |   |
| Buffer types   | 1: 10 ft. wide/6 ft. high  | No  |
|  | 2: 15 ft. wide/6 ft. high  |   |
|  | 3: 20 ft. wide/6 ft. high. Wall required   |   |
| Buffer Type  | Based on differences in height and use   |   |
| Maximum Tree Spacing                                     | 20 ft. on center   |   |

Note:

1. Deviations from Minimum Width, Planting Pattern and Shrub Hierarchy shall be permitted in the SCO in accordance with Art.

3.E.5.F.8, R-O-W Buffer Deviations. [Ord. 2004-040]

| <b>APPENDIX D - Checklist of Standards for ALP – Con't.</b> |   |    |
|---|---|----|
| Lawn and turf grass   | Species suitable as permanent lawn in County. Shall reach 100 percent coverage within 6 months of planting. Maximum 50 percent turf grass area allowed in Rural tier.   |    |
| Prohibited and Controlled Species                           | Prohibited species controlled by Art. 14.D<br>Controlled species include black olives (not within 15 ft. of vehicle use area, sidewalk, pathway or bike lane), ficus (no more than 10 percent of required trees and not permitted within 30 ft. of any structure or utility), silk oak and rosewood (not within 500 ft. of a preserve area) or citrus trees (not to qualify as a required tree) | No |

**APPENDIX D - CHECKLIST OF STANDARDS FOR ALP – CON'T.**

|  | <b>Specific Regulation</b>   | <b>Standard can be modified with an approved ALP</b> |
|--|--|--|
| <b>Code Requirement</b>  | <b>Plant Quality and Quantity</b>  |  |
| <i>Plant Quantity Interior Trees (Residential Lots)</i>  | U/S Tier : 1 per 1,200 sq. ft. (up to 15)<br>Exurban and Rural Tiers:<br>1 per 800 sq. ft. (up to 30)  |  |
| <b>General Provisions</b>  |  |  |
| <i>Plant Quantity – Interior Trees (Non-Residential Lots)</i>  | U/S Tier: 1 per 2,000 sq. ft.<br>AGR and Glades Tiers: 1 per 1,500 sq. ft.<br>Exurban and Rural Tiers: 1 per 1,200 sq. ft.                                       |  |
| <i>Plant Quantity – Interior Shrubs (Residential Lots)</i>   | U/S Tier:<br>3 per 1,200 sq. ft. (up to 45)<br>AGR and Glades Tiers:<br>3 per 800 sq. ft. (up to 90)<br>Exurban and Rural Tiers:<br>3 per 800 sq. ft. (up to 90) | No   |
| <i>Plant Quantity – Interior Shrubs (Non-Residential Lots)</i>   | U/S Tier: 3 per 2,000 sq. ft.<br>AGR and Glades Tiers: 3 per 1,500 sq. ft.<br>Exurban and Rural Tiers: 3 per 1,200 sq. ft.                                       |  |
| <i>Note: Overall, different standards have been introduced for the different tiers. For Ex/Rural/AGR/GI tiers, minimum and maximum quantities account for the larger lots.</i> |  |  |
| <i>Pervious Surface Area (Lot)</i>   | U/S Tier: 30 percent min.<br>AGR and Glades Tiers: 40 percent min.<br>Exurban and Rural Tiers: 50 percent min.   | Yes  |
| <i>Landscape in Easements</i>  | Landscape may overlap easement by max. 5 ft. A greater overlap may be allowed for infill development   | No   |
| <i>Corner Clips</i>  | Clear area must be maintained between 30 in. and 8 ft. from ground   | No   |
| <i>Berms</i>   |  | No   |
| <i>Maximum Slope</i>   | 3:1  |  |
| <i>Tier Restrictions</i>   | Not allowed outside U/S Tier unless along a Rural Parkway  | Yes  |
| <i>Drainage</i>  | Must be contained on property  | No   |

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**APPENDIX D - CHECKLIST OF STANDARDS FOR ALP – CON'T**

| <b>Code Requirement</b>         | <b>Specific Regulation</b>                                | <b>Standard can be modified with an approved ALP</b>  |
|---------------------------------|---|---|
| <i>Foundation Planting</i>      | Front, Rear & Side Façades (based on tier)                | <b>Yes.</b> May waive a portion or all of the requirement along interior and rear facades or allow for relocating portions of the area required (sq. ft.) to other facades or to buffers. |
| Minimum Planting Width          | U/S Tier: 5 ft. front with 8 ft. side                     |   |
|                                 | AGR and Glades Tiers: 10 ft. all sides                    |   |
|                                 | Exurban and Rural Tiers: 12 ft. all sides                 |   |
| Minimum Planting Length         | U/S Tier: 40 percent of façade                            |   |
|                                 | AGR and Glades Tiers: 50 percent of façade.               |   |
|                                 | Exurban and Rural Tiers: 60 percent of façade             |   |
| Tree Quantity                   | 1 per 20 linear ft. of façade                             |   |
| Landscaping Around Signs        | 3 ft. minimum planting width                              | No  |
|                                 | 1 shrub per 10 sq. ft. of planting area                   |   |
| <b>Maintenance</b>              |   |   |
| <i>Pruning</i>                  |   | No  |
| Maximum canopy removal          | 25% of canopy per year                                    |   |
| Tree topping (hatracking)       | Prohibited  |   |
| Minimum Canopy to be maintained | 20 ft.  |   |
| Maximum Palm Fronds Removal     | 33% No live fronds may be removed above the horizon line. |   |
| <i>Irrigation</i>               |   | Yes   |
| Minimum Coverage                | 100 percent of landscape area requiring irrigation        |   |

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**APPENDIX D - CHECKLIST OF STANDARDS FOR ALP – CON'T**

|  | Specific Regulation  | Standard can be modified with an approved ALP |
|--|--|---|
| <b>Plant Quality and Quantity</b>                        |  |   |
| <b>Perimeter Buffers</b>                                 |  |   |
| Trees  |  | No  |
| Minimum Number of Canopy Trees                           | 1 tree per 25 lineal ft.   |   |
| Minimum Shrub Percentage of Buffer Length (R-O-W Buffer) | 100 percent for ground cover   |   |
|  | 50 percent for small   |   |
|  | 25 percent for medium  |   |
|  | 25 percent for large   |   |
| Spacing for Hedges                                       | 24 in. on center   | Yes   |
| <i>R-O-W Buffers</i>                                     |  |   |
| Minimum Width  | 20 ft. (100+ ft. R-O-W)  | No  |
|  | 15 ft. (0-99 ft. R-O-W)  |   |
| Planting Pattern   | Minimum 50 percent of buffer width in meandering pattern   | No  |
| Shrub Hierarchy  | U/S Tier: 3 shrub types  | No  |
|  | AGR and Glades Tiers: 4 shrub types.   |   |
|  | Exurban and Rural Tiers: 4 shrub types   |   |
| Clustering   | Allowed if clusters 40 ft. apart; on property with 300 ft. of frontage and have trees of varied height   | Yes   |
| Walls and Fences   | R-O-W Setback: 10 ft.  | Yes   |
|  | 75 percent of landscaping must be on the exterior side   | Yes   |
| Width reduction  | May be reduced 50 percent if separated from street by open space, canal or lake with a min. 80 ft. width | Yes   |
| <i>Compatibility Buffers</i>                             |  |   |
| Required Location  | Between all compatible use types (except Single Family residential)                                      | No  |
| Minimum width  | 5 ft.  |   |
| Minimum height   | 3 ft.  |   |
| <i>Incompatibility Buffers</i>                           |  |   |
| Buffer types   | 1: 10 ft. wide/6 ft. high  |   |
|  | 2: 15 ft. wide/6 ft. high  |   |
|  | 3: 20 ft. wide/6 ft. high. Wall required   |   |
| Buffer Type  | Based on differences in height and use   |   |
| Maximum Tree Spacing                                     | 20 ft. on center   |   |

(This space intentionally left blank.)

**APPENDIX D - CHECKLIST OF STANDARDS FOR ALP – CON'T**

|   | <b>Specific Regulation</b>   | <b>Standard can be modified with an approved ALP</b>                           |
|---|--|--|
| <b>Plant Quality and Quantity</b>                   |  |  |
| Walls and Fences                                    | 75 percent of landscaping must be on the exterior side   |  |
| Berms   | May be used with shrubs or hedges  |  |
| Width Reduction                                     | 50 percent if same type of buffer on adjacent property   |  |
| <b>Parking Lot Landscaping</b>                      |  |  |
| <i>Terminal Islands</i>                             |  | Yes  |
| Required Location                                   | End of each row of more than 3 parking spaces or 4 spaces if industrial  |  |
| Minimum Width                                       | U/S Tier: 8 ft.<br>AGR and Glades Tiers: 10 ft.<br>Exurban and Rural Tiers: 12 ft.   |  |
| Minimum Length                                      | 15 ft.   |  |
| Tree quantity                                       | 1 per island   |  |
| <i>Interior Islands</i>                             |  | Yes  |
|   |  | May be 150 ft. apart if adjacent to divided median with trees 25 ft. on center |
| Minimum Number/Maximum Spacing                      | U/S Tier: 1 per 10 spaces or maximum 100 feet apart<br>AGR and Glades Tiers: 1 per 8 spaces or maximum 80 feet apart<br>Exurban and Rural Tiers: 1 per 6 spaces or maximum 60 feet apart |  |
| Minimum Width                                       | 8 ft.  |  |
| Minimum Length                                      | 15 ft.   |  |
| <i>Divider Median</i>                               |  | No   |
| Required Location                                   | Between every 3 <sup>rd</sup> row of parking and between all parking/vehicular use areas.<br>Optional for Exurban and Rural Tiers.   |  |
| Minimum Width                                       | 8 ft.  |  |
| Tree Spacing  | 1 per 30 ft. on center   |  |
| <i>Landscape Diamonds</i>                           | May be used as an alternative to interior islands  | No   |
| Required Location                                   | Intersection of 4 spaces   |  |
| Maximum Spacing                                     | 4 parking spaces   |  |
| Planting Area                                       | 25 ft.   |  |
| <b>Plant Quality and Quantity</b>                   |  |  |
| Minimum Dimensions                                  | 5 ft. x 5 ft.  |  |
| <i>Landscape Protection</i>                         |  | Yes  |
| Curbing or Wheel Stops                              | 6 in. high minimum. Alternative protections may be allowed in Exurban, Rural, AGR and Glades Tiers   |  |
| Parking Structures (within 500 ft. of public R-O-W) | Planters along each level (1/2 sq. ft. of planting area per linear foot of facade)   | Parking Structures only Allowed in U/S Tier                                    |

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