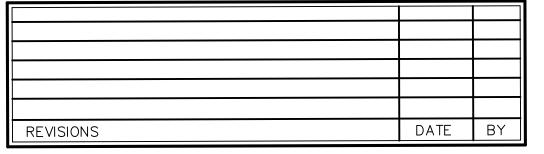




CIVIL ENGINEERING - LAND PLANNING LANDSCAPE ARCHITECTURE - SURVEYING 7900 GLADES ROAD - SUITE 100 BOCA RATON, FLORIDA 33434 PHONE (561)-392-1991 / FAX (561)-750-1452 275 NW 12TH AVENUE SOUTH BAY, FL BOUNDARY SURVEY



BY 00000



Cameron Residence

Single Family Residence PALM BEACH COUNTY



Department of Economic Sustainability

PERMIT SET DOCUMENTS

Dated: JUNE 27, 2019

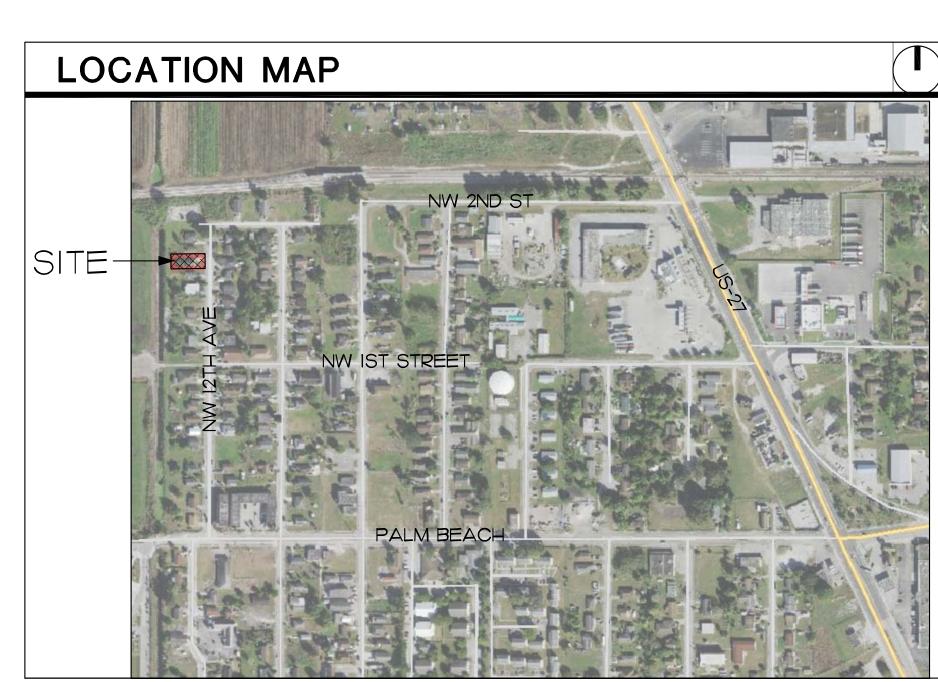
Architect

Colome' and Associates, Inc.

530 24th Street West Palm Beach, FL 33047 (561) 537-9211

Structural Engineer Warren Von Werne, PE

11388 Okeechobee Boulevard West Palm Beach. FL 33411 (561) 795-1818



GENERAL NOTES

- I. ALL VERTICAL DIMENSIONS ARE FROM FINISH FLOOR SLAB. A.F.F. ABBREVIATES "ABOVE FINISH FLOOR"
- 2. THE ARCHITECT AND ENGINEER ACCEPT NO RESPONSIBILITY FOR WORK WHICH IS NOT IN COMPLIANCE WITH THE INTENT AND REQUIREMENTS OF THE DRAWINGS, OR WHICH HAS BEEN PERFORMED BASED UPON THE INTERPRETATION OF INTENT OF THE DRAWINGS BY PARTIES OTHER THAN THE ARCHITECT AND ENGINEER.
- 3. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO BIDDING AND STARTING CONSTRUCTION. GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES.
- 4. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE FLORIDA BUILDING CODE 6TH EDITION (2017) INCLUDING ADOPTED LOCAL AMENDMENTS, AS WELL AS THE LATEST EDITION OF ALL GOVERNING STATE AND NATIONAL CODES.
- 5. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING OF PLANS, SECTIONS, AND DETAILS. DIMENSIONS ARE NOMINAL AND TO FACE OF STUDS UNLESS NOTED OTHERWISE.
- 6. ALL WOOD IN DIRECT CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED. PROVIDE ALL REQUIRED BLOCKING AS NEEDED FOR BUILT-IN CASEWORK OR EQUIPMENT SUPPORTS. COORDINATE WITH SUBCONTRACTORS AS REQUIRED.
- 8. VERIFY SIZES OF ALL EQUIPMENT AND MATERIALS N.I.C. AND COORDINATE OPENINGS, CLEARANCES, ELECTRICAL AND MECHANICAL REQUIREMENTS WITH THE OWNER PRIOR TO INSTALLATION.
- 9. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF AMERICANS WITH DISABILITIES ACT AND FLORIDA BUILDING CODE 6TH EDITION (2017) ACCESSIBILITY CODE.

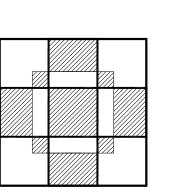
STC REQUIREMENTS:

ALL BATT INSULATION TO BE SONOBATTS, BY OWEN CORNING OR APPROVED EQUAL SOUND REDUCTION BATT INSULATION MEETING SPECIFICATION REQUIREMENTS

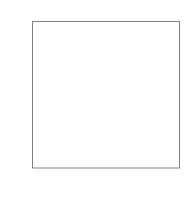
ALL DOORS AND WINDOWS TO HAVE STC 30 RATING MINIMUM - DOORS AND WINDOWS IN SPECIFICATIONS MEET THESE REQUIREMENTS. ANY SUBSTITUTION MUST MEET THESE REQUIREMENTS AND SPECIFICATION REQUIREMENTS

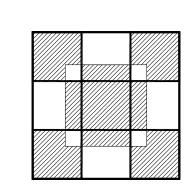
GREEN BUILDING REQUIREMENTS:

- EXTERIOR WALL INSULATION R-7.5 CEILING / ATTIC INSULATION - R-38
- IMPACT WINDOWS AND DOORS U-FACTOR = 0.24 / SHGC = 0.27
- ALL LAMPS / LIGHT FIXTURES PURCHASED WITH ALLOWANCE TO BE ENERGY STAR RATED + UL / CFL OR LED LAMPS REFRIGERATOR / DISHWASHER / WASHING MACHINE TO BE ENERGY STAR RATED NO CARPETING ON PROJECT
- LOW VOC PAINTS AND SEALANT. SEAL ALL JOINTS DESIGNED TO PREVENT WATER INTRUSION AND ALLOW MOISTURE TO EXPEL FROM STRUCTURE
- PROGRAMMABLE THERMOSTAT IRRIGATION SYSTEM TO BE PROVIDED BY ALLOWANCE. ALL PLANTS ADJACENT TO STRUCTURE TO BE WATERED BY DRIP IRRIGATION
- TOILET TO BE I.6 GPF MAX / I.28 PREFERRED SHOWER HEAD I.75 GPM
- BATHROOM SINK .5 GPM KITCHEN SINK I.5 GPM



PBC-DES CAMERON RESIDENCE





SHEET TITLE COVER

REVISIONS:

6-27-19 DRAWN BY

> HDM CHECKED BY:

NUMBER:

COVER

INDEX OF DRAWINGS

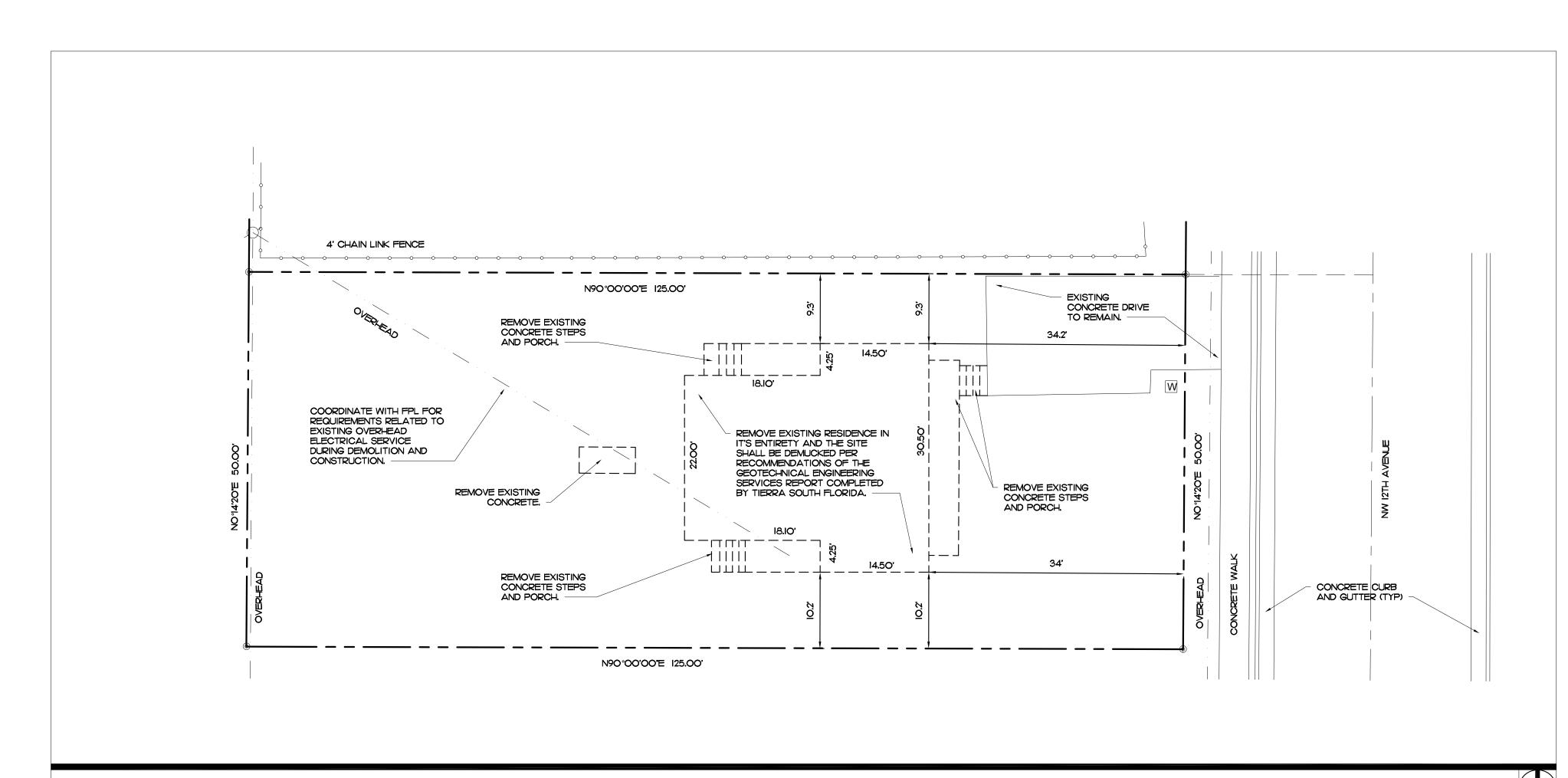
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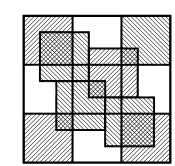
ARCHITECTURAL

- SITE PLAN AND DEMOLITION SITE PLAN FLOOR PLAN AND SCHEDULES
- REFLECTED CEILING PLAN AND INTERIOR ELEVATIONS
- ROOF PLAN AND DETAILS EXTERIOR ELEVATIONS
- EXTERIOR ELEVATIONS
- BUILDING SECTIONS

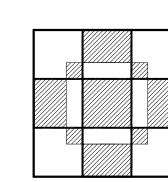
STRUCTURAL

- FOUNDATION PLAN
- ROOF FRAMING PLAN STRUCTURAL NOTES & DETAILS
- WIND PRESSURES





Colomé & Associates, Inc. AA 0003439 530 24TH STREET WEST PALM BEACH FLORIDA, 33407 (561) 833-9147 Architect: Elizabeth A. G. Colomé REG. NUMBER: AR 0014839



PBC-DES CAMERON RESIDENCE

275 NW 12TH AVENUE SOUTH BAY, FL

SOUTH BAY, FL

DEMOLITION SITE PLAN

ZONING DATA: ADDRESS: 275 NW I2TH AVENUE SOUTH BAY, FLORIDA LEGAL DESCRIPTION: NORTH ONE HALF OF LOT 40, THE CROSBY SUBDIVISION, PLAT BOOK 21, PAGE 34, PALM BEACH COUNTY FLORIDA. CONTAINING 0.14 ACRES, MORE OR LESS FLOOD PLAIN: THIS PROPERTY IS LOCATED IN FLOOD ZONE AE, ACCORDING TO F.I.R.M. (FLOOD INSURANCE RATE MAP) NO. 12099C046IF, DATED OCTOBER 5, 2017. ZONING CLASSIFICATION: R-I SINGLE FAMILY DWELLING DISTRICT BUILDING/SITE DATA: LOT WIDTH: REQUIRED: 50' MINIMUM ACTUAL: LOT AREA: 8,000 SF MIN (EXEMPT IF PLAT WAS RECORDED PRIOR TO ADOPTION OF ORDINANCE) 6,250 SF (EXISTING CONDITION) BUILDING SQUARE FOOTAGE: AIR CONDITIONED SQUARE FOOTAGE = 1,266 SF PORCHES = 394 SF LOT COVERAGE: REQUIRED: 35% MAXIMUM FOOTPRINT = BUILDING + PORCHES = 1,660 SF (1,660 / 6,250) = 26.6% FRONT SETBACK (EAST): REQUIRED: 25' MINIMUM 26' (SEE SITE PLAN) ACTUAL: SIDE SETBACK (NORTH): REQUIRED: 7'-6" MINIMUM ACTUAL: 8'-8" (SEE SITE PLAN) SIDE SETBACK (SOUTH): REQUIRED: 7'-6" MINIMUM ACTUAL: 8'-8" (SEE SITE PLAN) REAR SETBACK (WEST): REQUIRED: 20' MINIMUM ACTUAL: GREATER THAN 20' (SEE SITE PLAN) BUILDING HEIGHT: REQUIRED: 2 STORIES/30' MAXIMUM ACTUAL: 1 STORY/18'-1" (SEE 3/A-5)

7'-6" SIDE YARD SETBACK. 20' REAR YARD 25' FRONT YARD SETBACK. SETBACK. NEW MAILBOX TO REPLACE EXISTING. 4' CHAIN LINK FENCE N90°00'00"E 125.00' NEW RAMP. CONCRETE DRIVE. COORDINATE WITH FPL FOR REQUIREMENTS RELATED TO EXISTING OVERHEAD ELECTRICAL SERVICE DURING DEMOLITION AND CONSTRUCTION. PORCH. NEW STAIRS. 26'-0" PORCH. NEW REINFORCED CMU STRUCTURE - F.F.E. + 17.0 NEW CONDENSER PAD PORCH. LOCATION. EXISTING CONCRETE CURB AND GUTTER (TYP) N90°00'00"E 125.00' 7'-6" SIDE YARD SETBACK. NOTES:

I. SITE TO BE GRADED SO THAT ALL WATER SHEDS TO FRONT AND BACK OF SITE WITHOUT ANY DRAINAGE ONTO ADJACENT PROPERTIES. 2. PROVIDE NEW SOD AND LANDSCAPING AFTER COMPLETION OF CONSTRUCTION OF BUILDING, PORCHES, STAIRS AND RAMPS. LANDSCAPING TO COMPLY WITH SOUTH BAY ZONING REQUIREMENTS. LANDSCAPING TO INCLUDE AN IRRIGATION SYSTEM PROVIDING 100% HEAD TO HEAD COVERAGE.

PROJECT NO. 201739

SCALE: I" = IO'

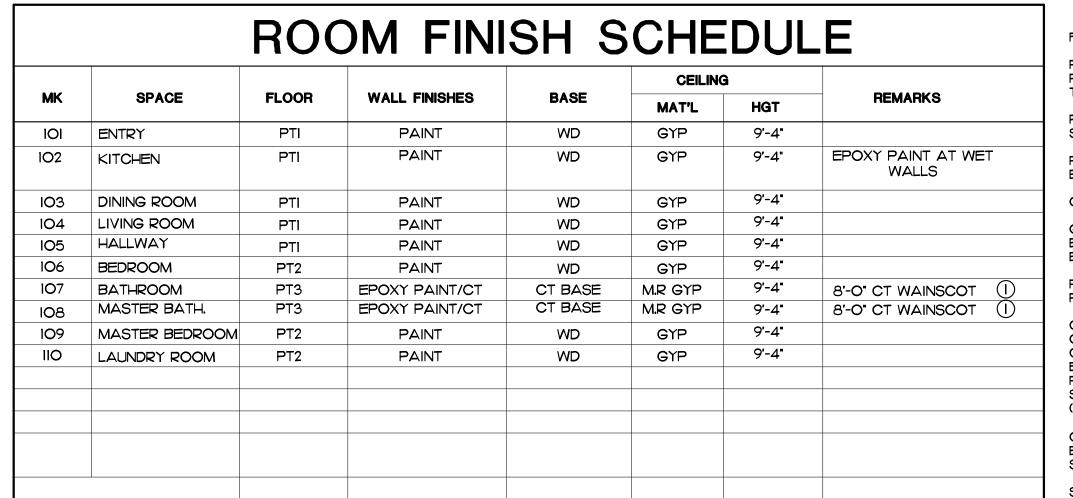
SHEET TITLE:
SITE PLAN /
DEMOLITION
SITE PLAN

DATE
6-27-19

DRAWN BY:
HDM
CHECKED BY:
EAC

SHEET
NUMBER:

SCALE: I" = IO'



(1) SEE INTERIOR ELEVATIONS SHEET A-2 FOR LOCATIONS.

DOOR SCHEDULE										
DOOR HDWR GROUP	DR •	DR SIZE	TYPE		DOOR			FRAME		REMARKS
			DOOR	FRAME	THICK	MATERIAL	_FINISH	MATERIAL	FINISH	
-	101	3'-0"X7'-0"	Е	1	1 3/4"	MTL	PNT	MTL	PNT	EXTERIOR - DECORATIVE W/LITE
-	102	3'-0"X7'-0"	Е	1	1 3/4"	MTL	PNT	MTL	PNT	EXTERIOR - DECORATIVE W/LITE
-	103	2'-8"X6'-8"	Α	2	1 3/4"	SCW	PNT	WD	PNT	6-PANEL
-	104	6'-0"X6'-8"	В	_	1"	BI-FOLD	PNT	MTL	PNT	BI-FOLD
-	105	2'-0"X6'-8"	С	_	1"	BI-FOLD	PNT	MTL	PNT	BI-FOLD
-	106	2'-8"X6'-8"	Α	2	1 3/4"	SCW	PNT	WD	PNT	6-PANEL
-	107	5'-0"X6'-8"	В	_	1"	BI-FOLD	PNT	MTL	PNT	BI-FOLD
-	108	3'-0"X6'-8"	Α	2	1 3/4"	SCW	PNT	WD	PNT	6-PANEL
-	109A	2'-0"X6'-8"	С	_	1"	BI-FOLD	PNT	MTL	PNT	BI-FOLD, MTL2
-	109B	2'-0"X6'-8"	С	_	1"	BI-FOLD	PNT	WD	PNT	BI-FOLD
-	110	3'-0"X6'-8"	Α	2	1 3/4"	SCW	PNT	WD	PNT	6-PANEL
-	111	5'-0"X6'-8"	В	_	1"	BI-FOLD	PNT	MTL	PNT	BI-FOLD
-	112	5'-0"X6'-8"	В	-	1"	BI-FOLD	PNT	MTL	PNT	BI-FOLD
_										

FINISH LEGEND: PT# - COLOR AND SIZE OF PORCELAIN

PT - PORCELAIN TILE - SEE

GYP - 5/8" GYPSUM CEILING BOARD AND 1/2" GYPSUM WALL

PAINTS.

CONTRACTOR TO PROVIDE I

BE KNOCK-DOWN FINISH -SEE SPECIFICATIONS

GALV. HIGH RIBBED METAL

DOOR LEGEND: MTL - GALV. HOLLOW METAL DOOR, IMPACT RATED MTL2 - METAL INTERIOR DOOR

NOTE: DOOR HARDWARE TO COMPLY WITH NOA. PROVIDE STANDARD LEVEL 2 GRADE 'D' SCHLAGE OR APPROVED EQUAL LOCKSETS AT EACH DOOR.

NOTES:

I. MECHANICAL DRAWINGS SHOWING DUCT SIZES/LAYOUT, EQUIPMENT SIZING

CALCULATIONS, ETC TO BE PROVIDED BY THE MECHANICAL SUBCONTRACTOR

AS PART OF THE MECHANICAL PERMIT. SEER = 16 MIN. MECHANICAL

PROVIDED BY THE ELECTRICAL SUBCONTRACTOR AS PART OF THE

4. SEE GREEN BUILDING REQUIREMENTS LISTED ON COVER SHEET.

CONTRACTOR REQUIRED TO MEET ALL OF THESE SPECIFICATIONS.

SIZING CALCULATIONS, ETC TO BE PROVIDED BY THE PLUMBING

SUBCONTRACTOR AS PART OF THE PLUMBING PERMIT.

NOTE: ALL OPEN CMU CELLS AT EXTERIOR

LOOSE FILL MASONRY INSULATION.

WALLS TO BE FILLED WITH VERMICULITE

RESIDENTIAL REQUIREMENTS.

ELECTRICAL PERMIT.

SUBCONTRACTOR TO PROVIDE ENERGY CALCULATIONS TO MEET FBC

2. PLUMBING DRAWINGS SHOWING PIPING SIZES/LAYOUT, WATER HEATER

3. ELECTRICAL DRAWINGS SHOWING CONDUIT SIZES/LAYOUT, ELECTRICAL

PANEL SIZING CALCULATIONS, CIRCUITING, OUTLET LOCATIONS, ETC TO BE

3'-10"

6'-0

6'-8"

ľ-4"

6'-O**"**

SPECIFICATIONS PT BASE - PORCELAIN TILE

CT - CERAMIC WALL TILE

PAINTING: WALL AND CEILING

COLOR PER ROOM / MULTIPLE COLORS FOR ENTIRE HOME ON EACH WALL - CEILINGS TO BE PAINTED WHITE / TRIM TO BE SEMI GLOSS PAINTED WOOD

CEILINGS: ALL CEILINGS TO SOFFITS TO BE STUCCO ON

MR: MOISTURE RESISTANT

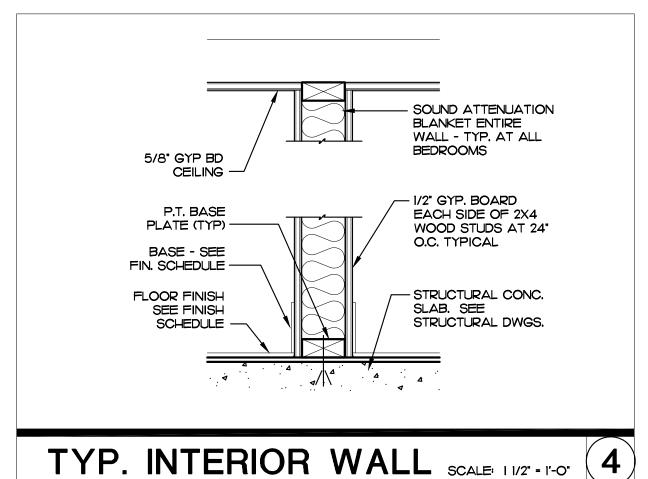
WD: PAINTED WOOD BASE ALL CLOSETS TO RECEIVE PT TO MATCH FLOOR FINISH AT ADJACENT SPACE AND TO RECEIVE PAINT TO MATCH WALLS

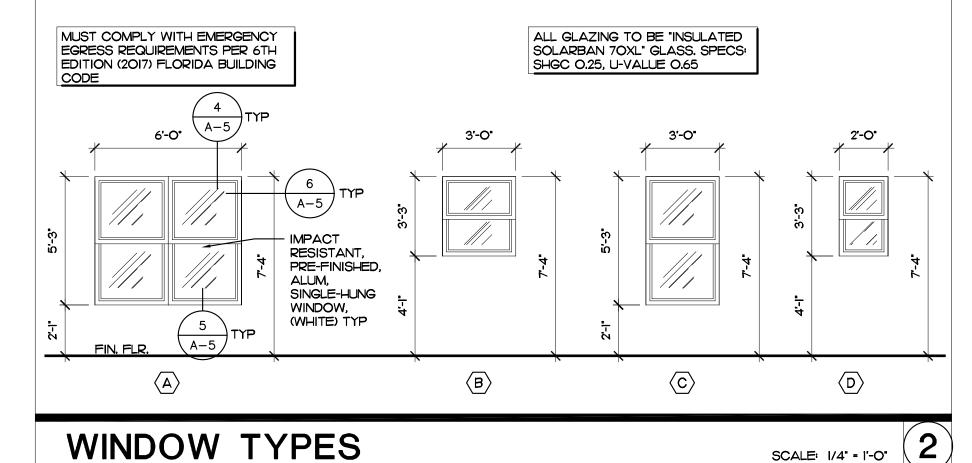
N.T.S.

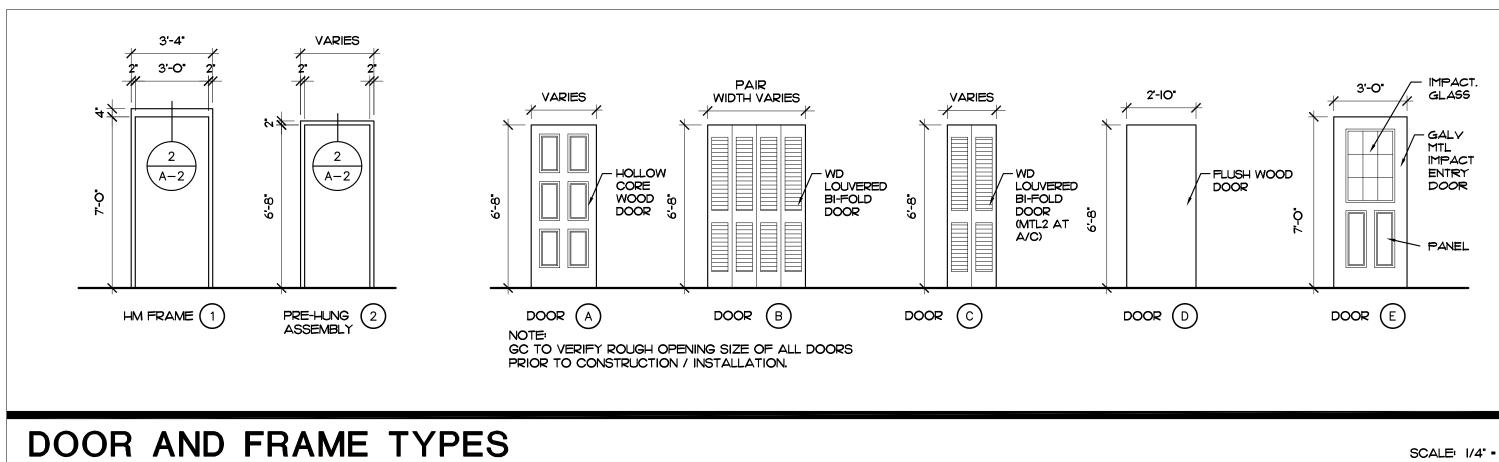
AT ADJACENT SPACE.

SC WD - SOLID CORE WOOD WD - WOOD

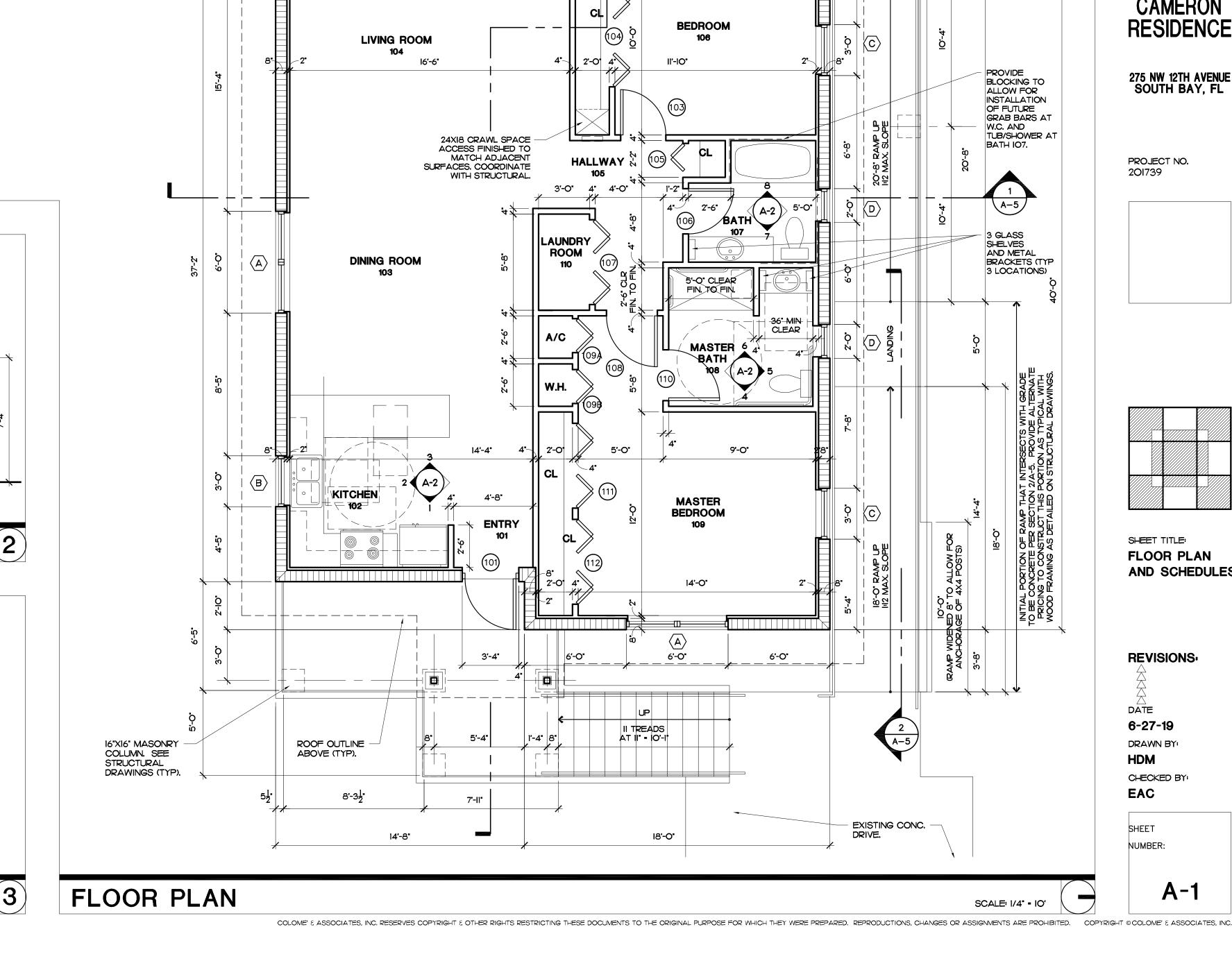
SCHEDULES







SCALE: 1/4" = 1'-0"



13'-6"

32'-8"

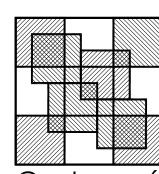
6'fO'

6'-9"

6'-9"

13'-6" RAMP UP 1:12

MAX. SLOPE



2'-0"

LANDING

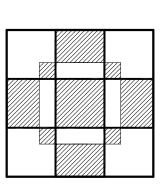
LANDING

10'-1"

6'-O"

5'-4"

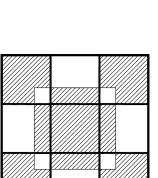
Colomé & Associates, Inc. AA 0003439 530 24TH STREET WEST PALM BEACH FLORIDA, 33407 (561) 833-9147 Architect: Elizabeth A. G. Colomé REG. NUMBER: AR 0014839



PBC-DES **CAMERON**

275 NW 12TH AVENUE SOUTH BAY, FL

PROJECT NO. 201739

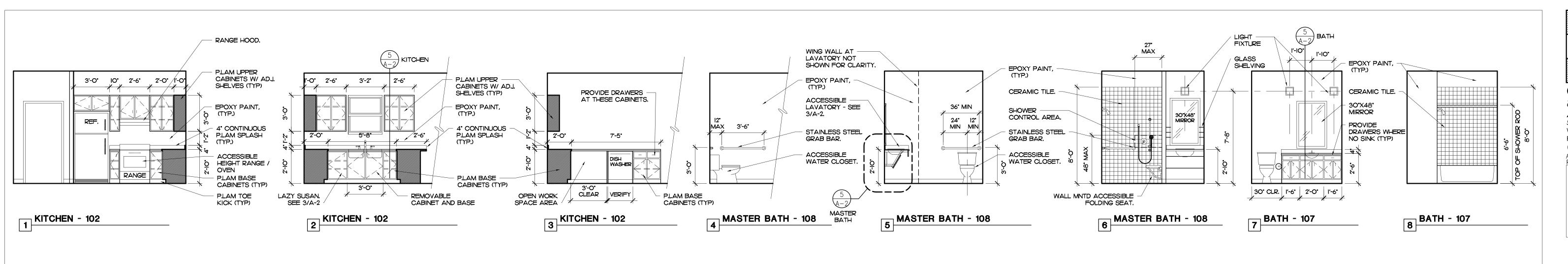


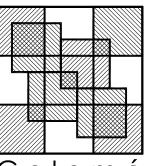
SHEET TITLE: FLOOR PLAN AND SCHEDULES

REVISIONS 6-27-19 DRAWN BY: HDM CHECKED BY:

EAC SHEET NUMBER:

A-1

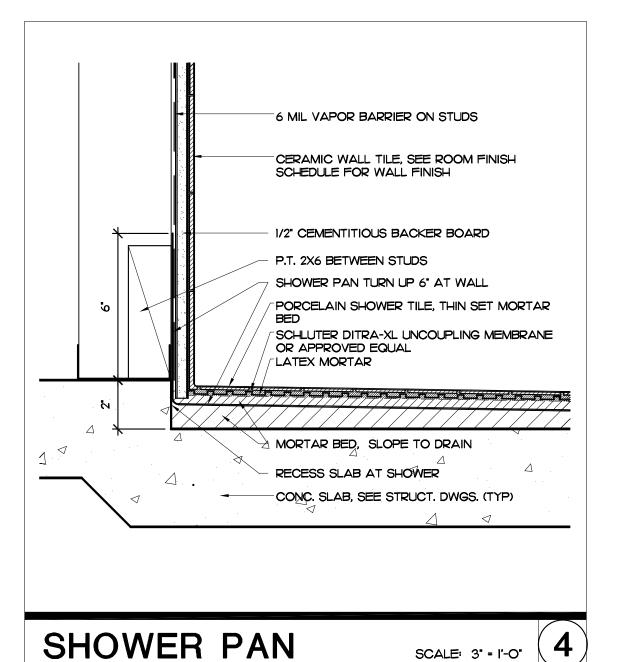


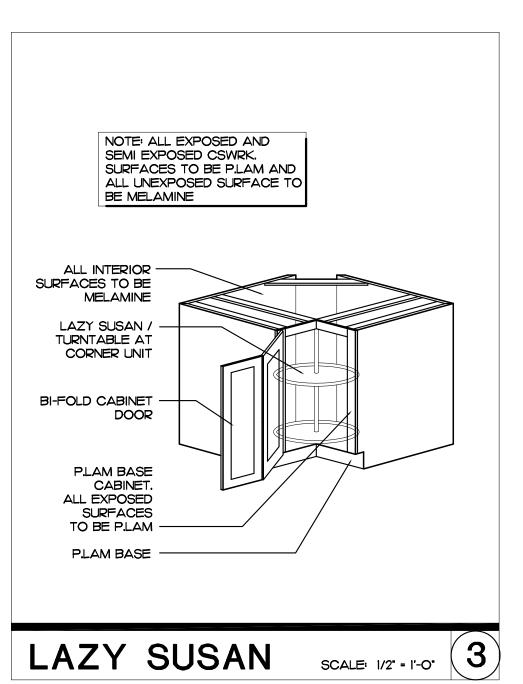


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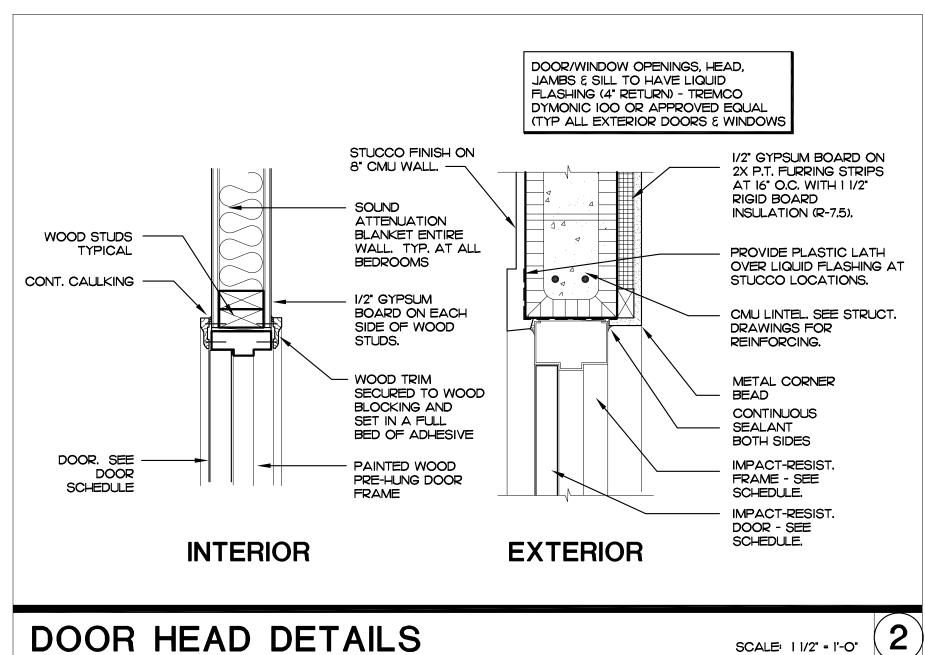
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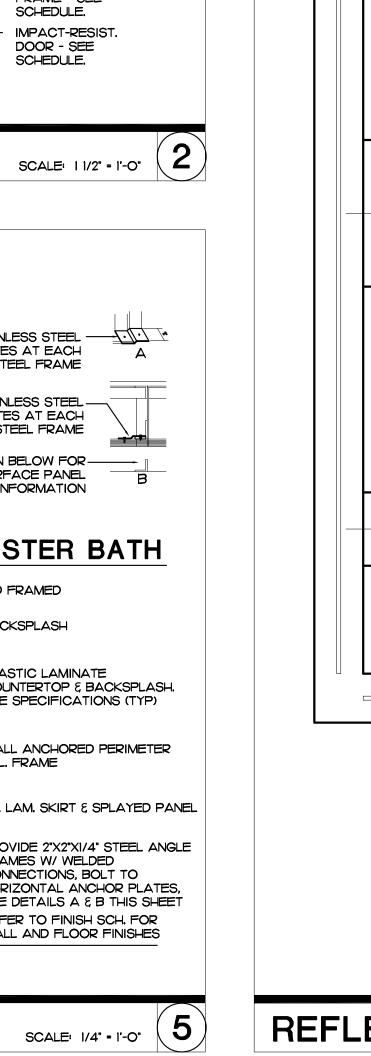
INTERIOR ELEVATIONS

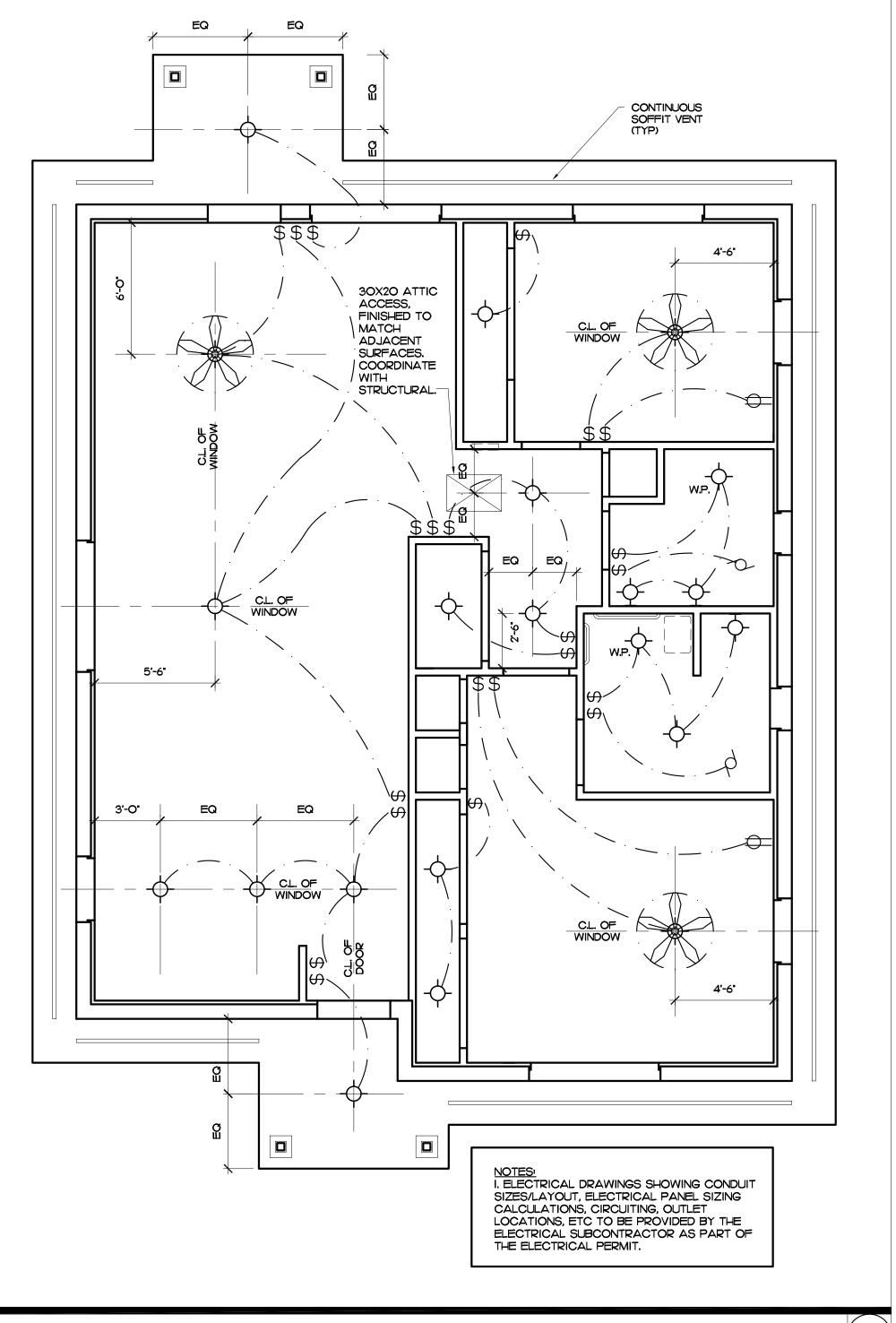


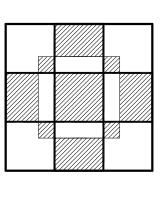


CASEWORK DETAILS





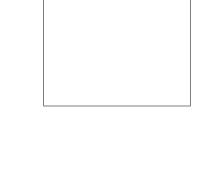


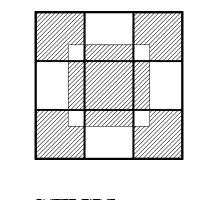


CAMERON RESIDENCE

275 NW 12TH AVENUE SOUTH BAY, FL

PROJECT NO. 201739





REFLECTED
CEILING PLAN
AND INTERIOR
ELEVATIONS

REVISIONS.

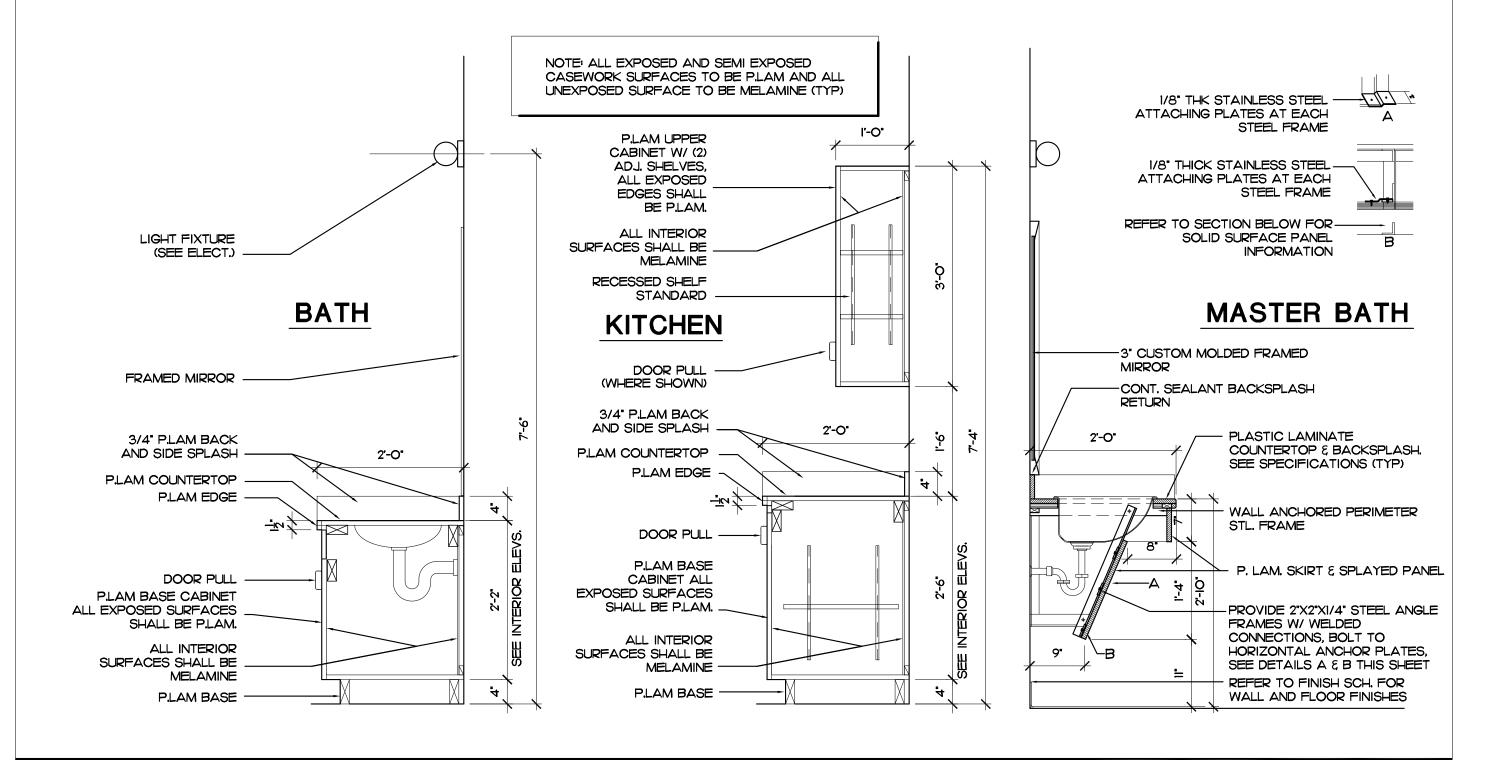
DATE
6-27-19
DRAWN BY:
HDM

HDM CHECKED BY: EAC

SHEET NUMBER:

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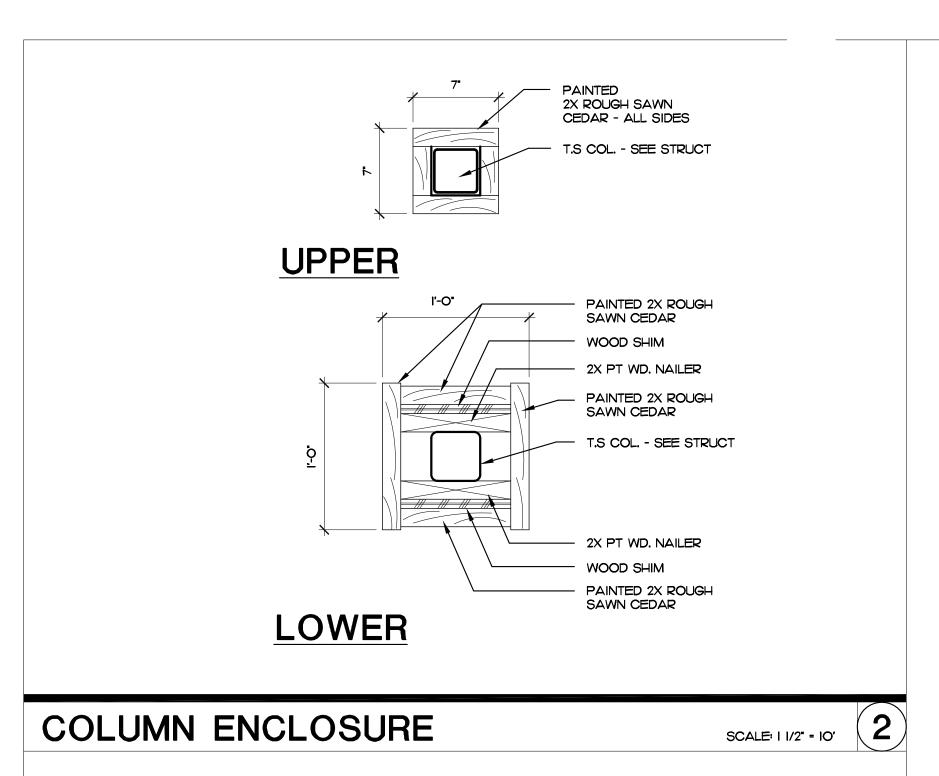
SHOWER CURB SCALE: 3'-1'-0' 6



REFLECTED CEILING PLAN

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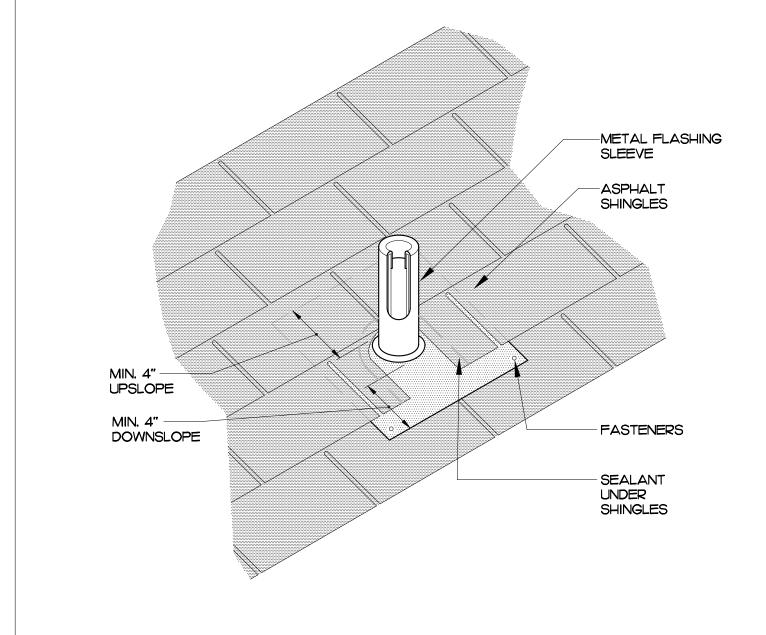


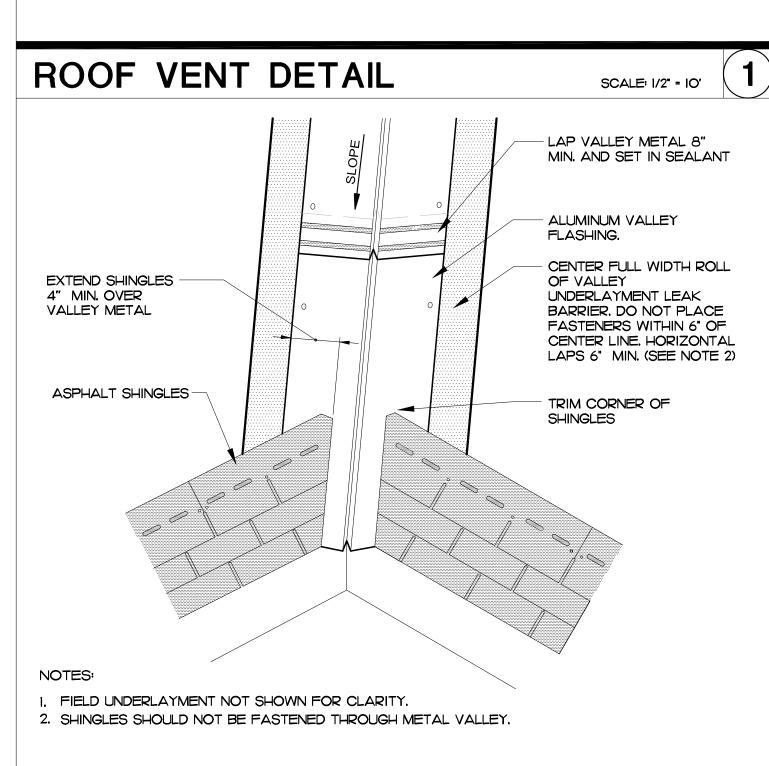
A-3

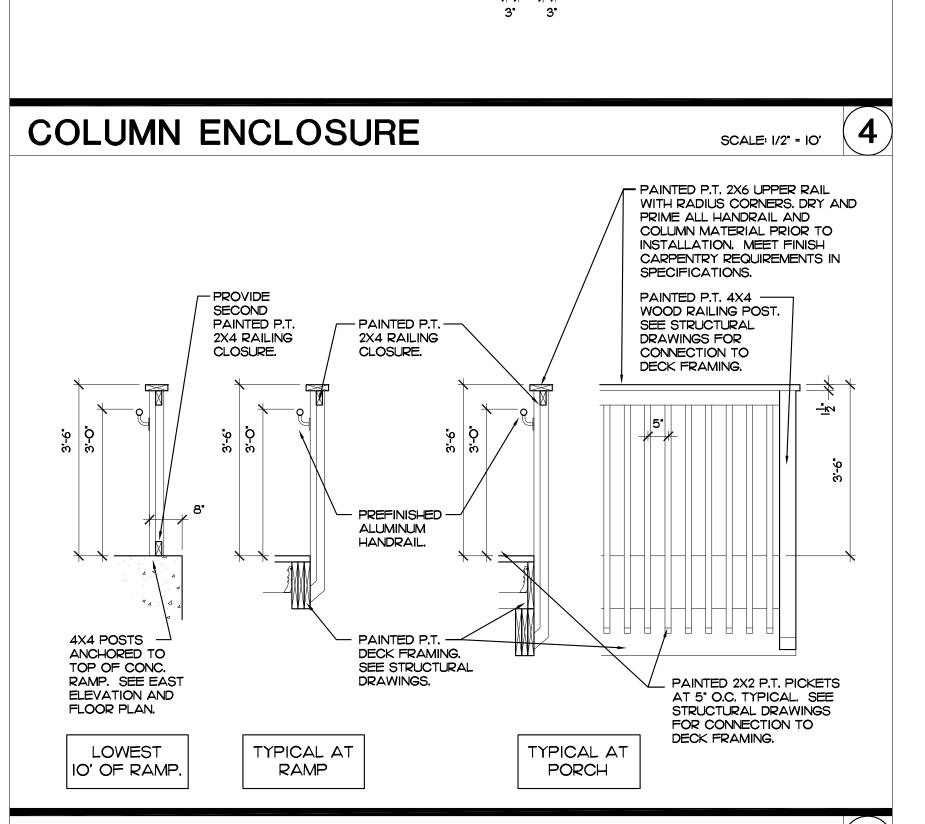
PAINTED WOOD ENCLOSURE OVER TUBE

STEEL COLUMN (SEE STRUCTURAL)

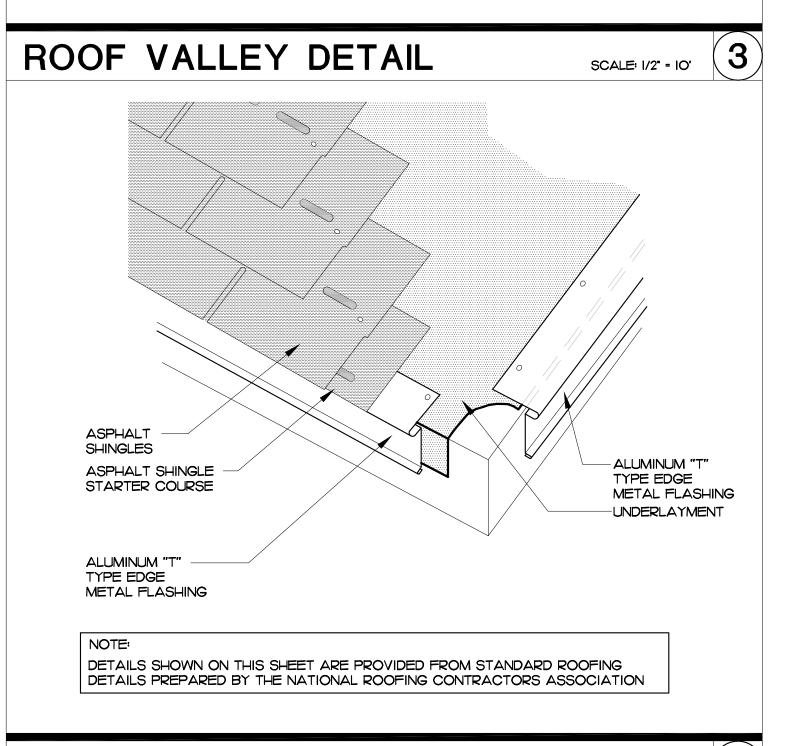
I" - HALF ROUND MOLDING







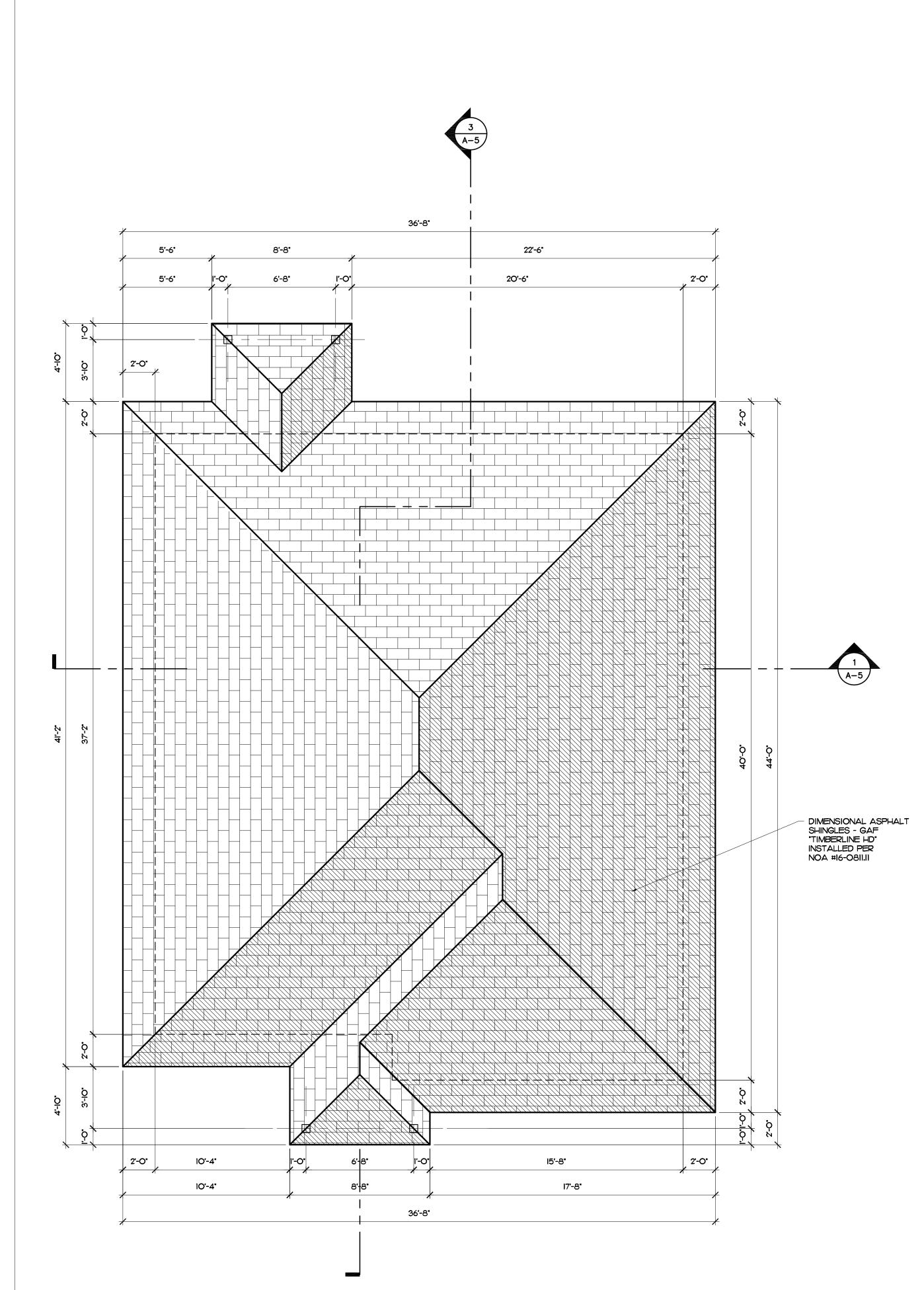
HANDRAIL DETAIL



ROOF PLAN

SCALE: 1/2" = 10'

ROOF EAVE DETAIL



Colomé & Associates, Inc.

AA 0003439 530 24TH STREET

WEST PALM BEACH FLORIDA, 33407

(561) 833-9147 Architect: Elizabeth A. G. Colomé REG. NUMBER: AR 0014839

PBC-DES CAMERON

RESIDENCE

275 NW 12TH AVENUE SOUTH BAY, FL

PROJECT NO.

SHEET TITLE:

ROOF PLAN

AND DETAILS

REVISIONS

6-27-19

DRAWN BY

CHECKED BY:

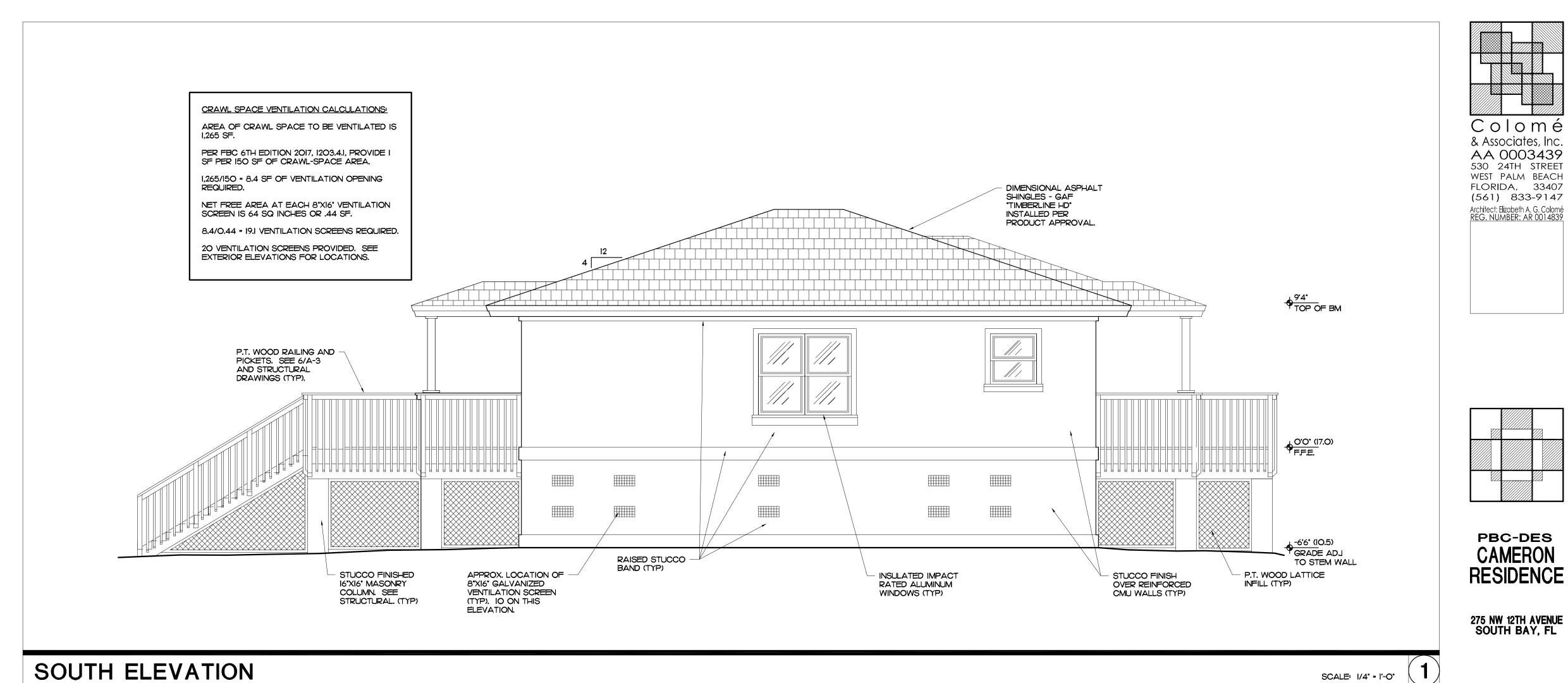
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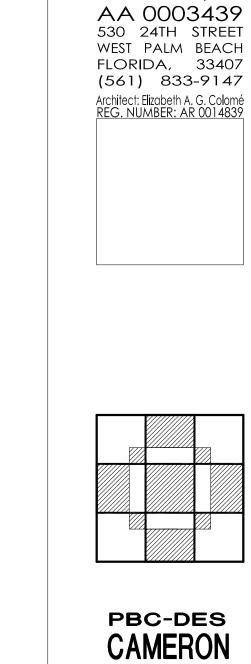
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201739

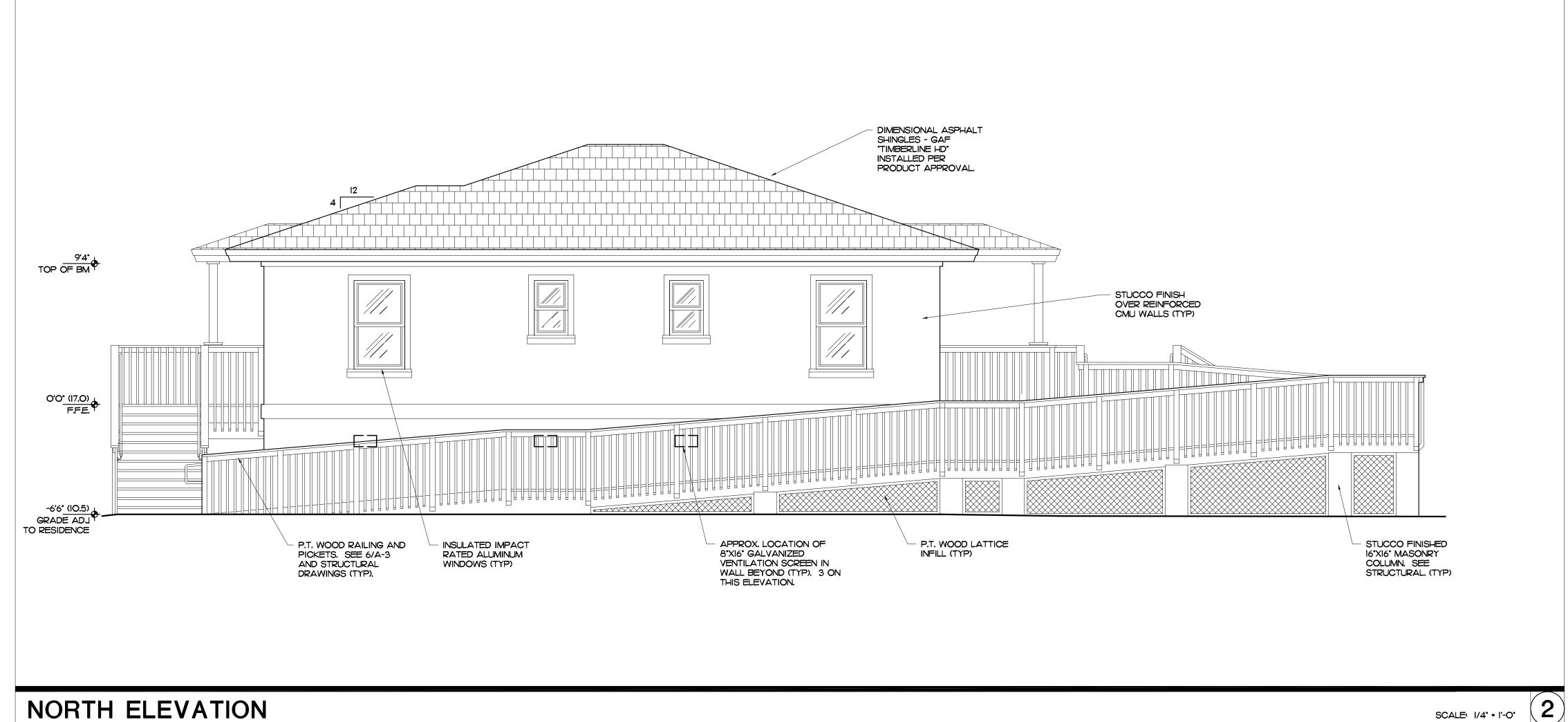




Colomé

275 NW 12TH AVENUE SOUTH BAY, FL

PROJECT NO. 201739



SHEET TITLE: **EXTERIOR ELEVATIONS**

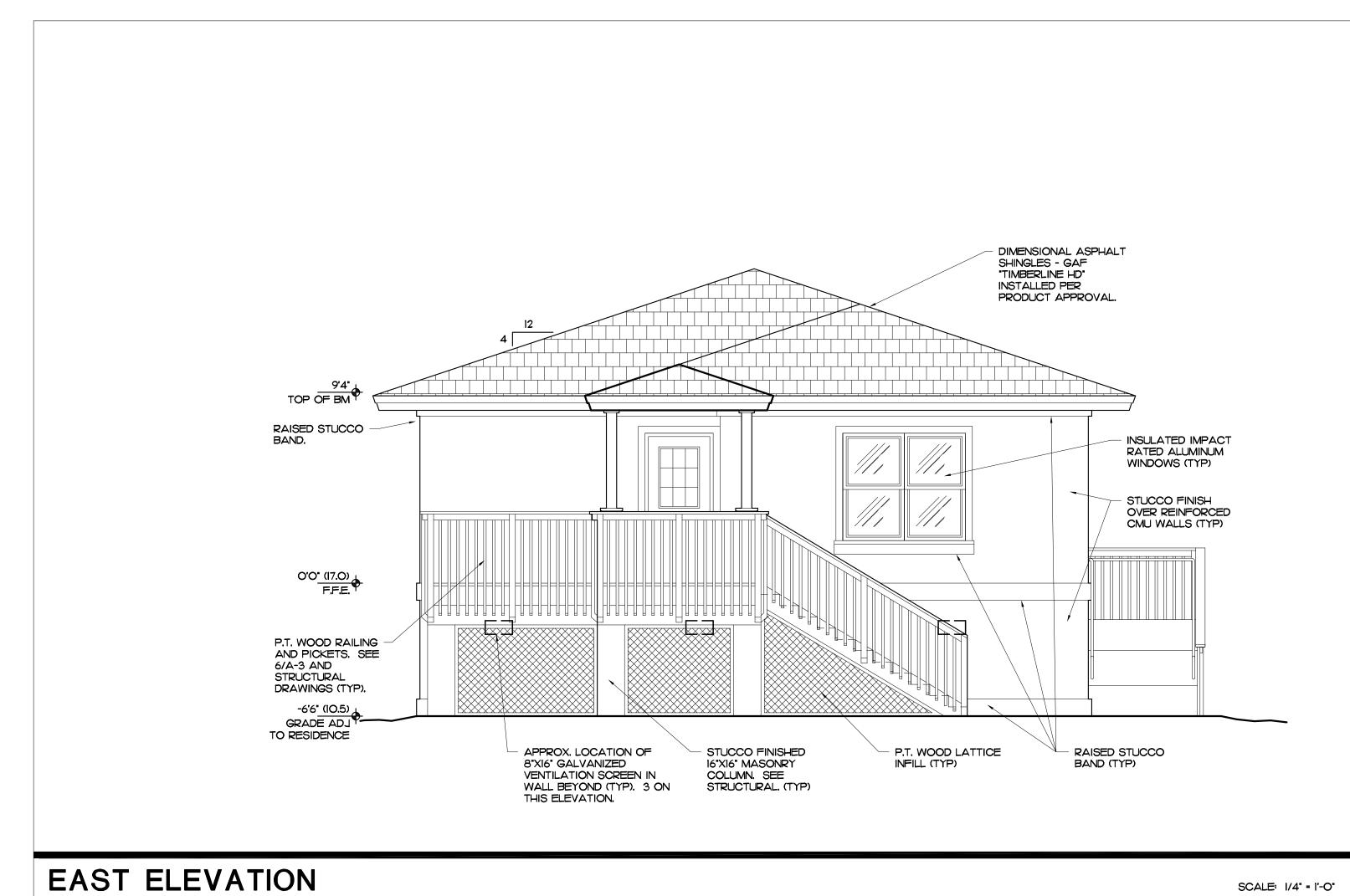
REVISIONS

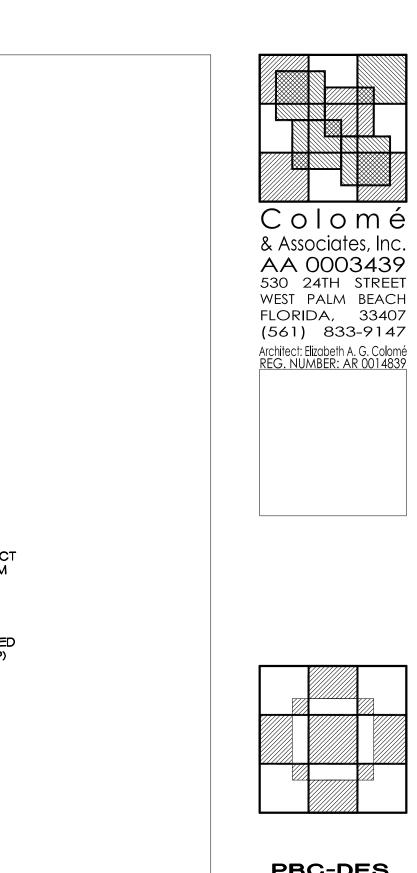
6-27-19 DRAWN BY: HDM

CHECKED BY:

SHEET NUMBER:

SCALE: 1/4" = 1'-0"

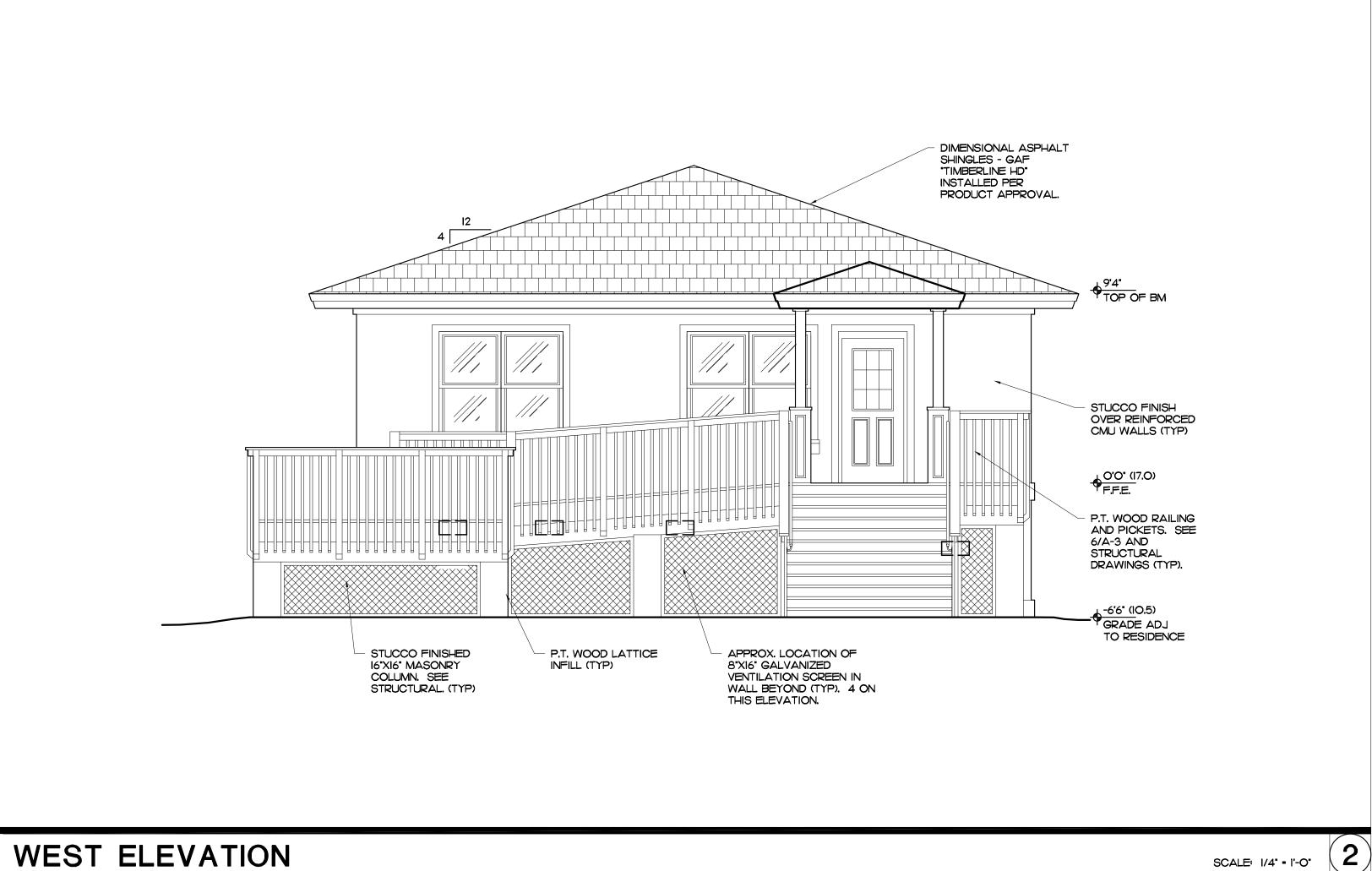


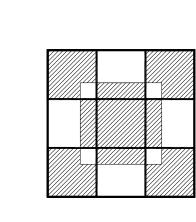


PBC-DES CAMERON RESIDENCE

275 NW 12TH AVENUE SOUTH BAY, FL

PROJECT NO. 201739





SHEET TITLE: **EXTERIOR ELEVATIONS**

REVISIONS

6-27-19 DRAWN BY: HDM

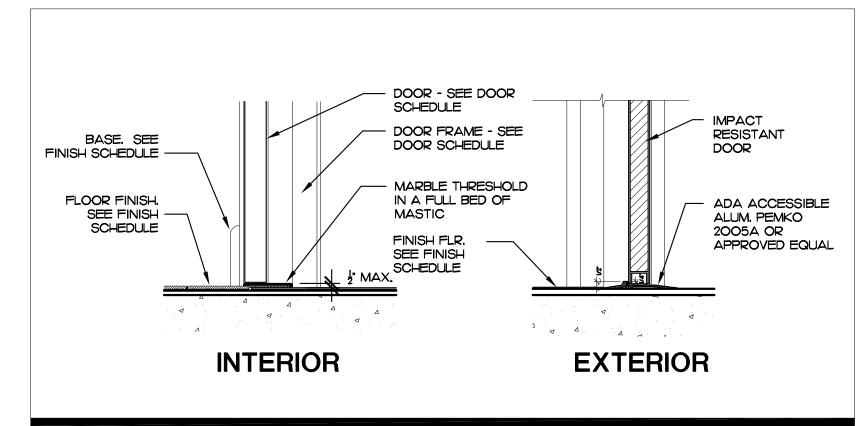
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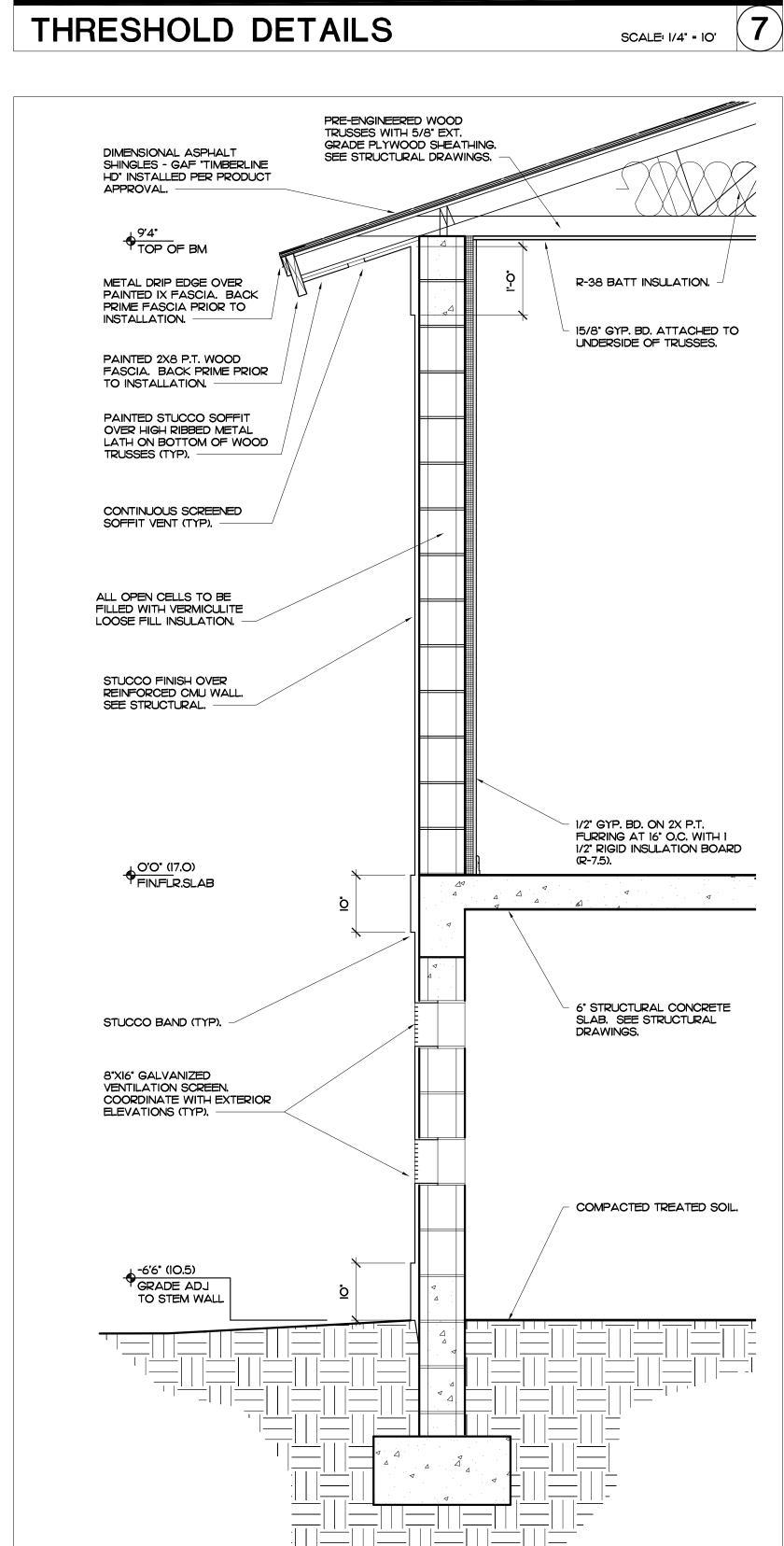
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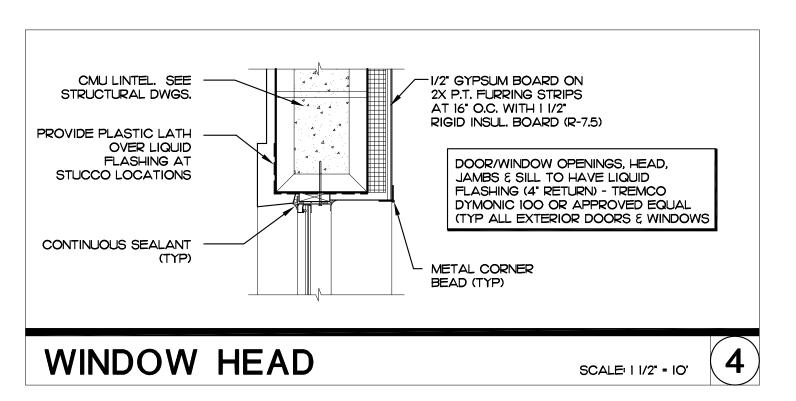
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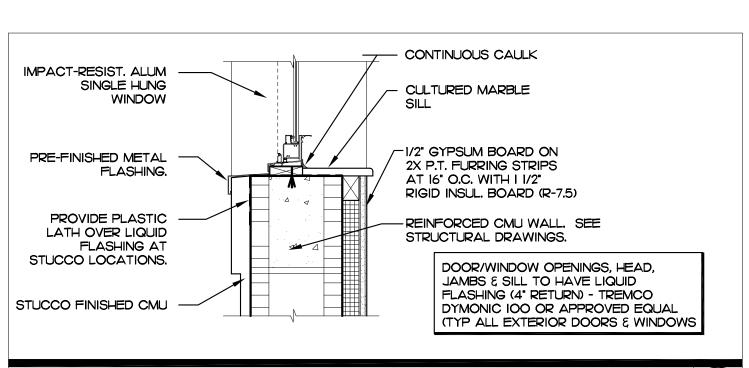
A-4.2





WALL SECTION





SCALE: 1 1/2" = 10'

R-38 BATT INSULATION

COMPACTED,

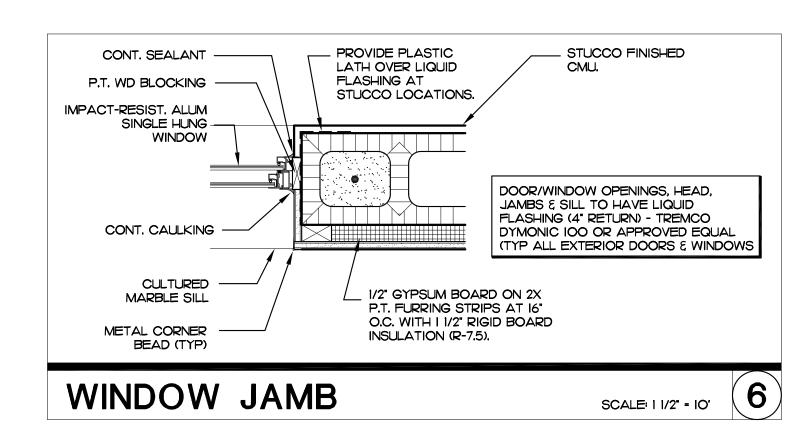
TREATED SOIL.

6" STRUCTURAL

CONCRETE SLAB.

SEE STRUCTURAL

DRAWINGS.



OVER FRAMED TRUSSES.

SEE STRUCTURAL DRAWINGS (TYP).

8"XI6" GALVANIZED

SCREEN. COORD.

WITH EXTERIOR

ELEVATIONS (TYP)

VENTILATION

WINDOW SILL

PAINTED WOOD

ENCLOSURE OVER STEEL TUBE COLUMN.

SEE DETAIL 4/A-3.

AND STRUCTURAL

P.T. DECK FRAMING. SEE STRUCTURAL

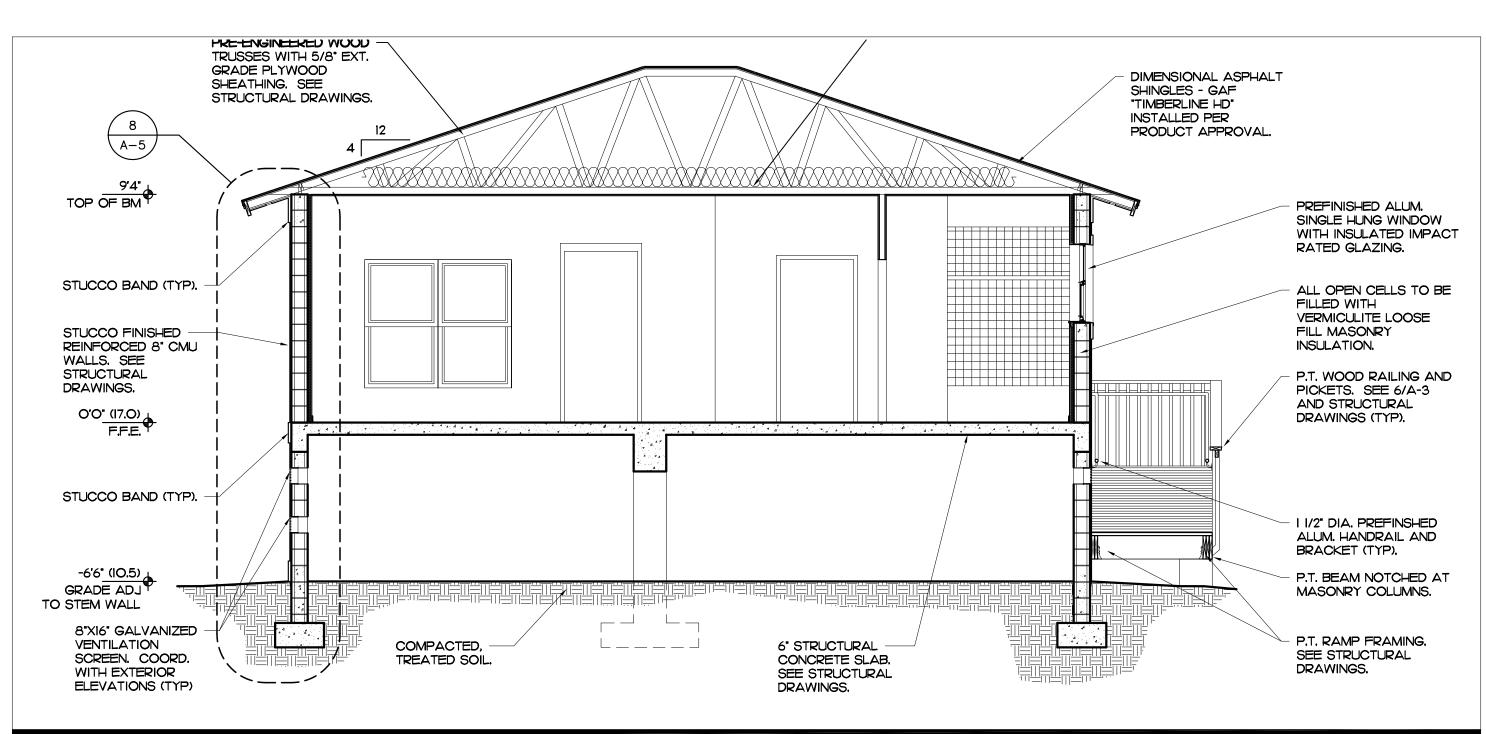
BUILDING SECTION

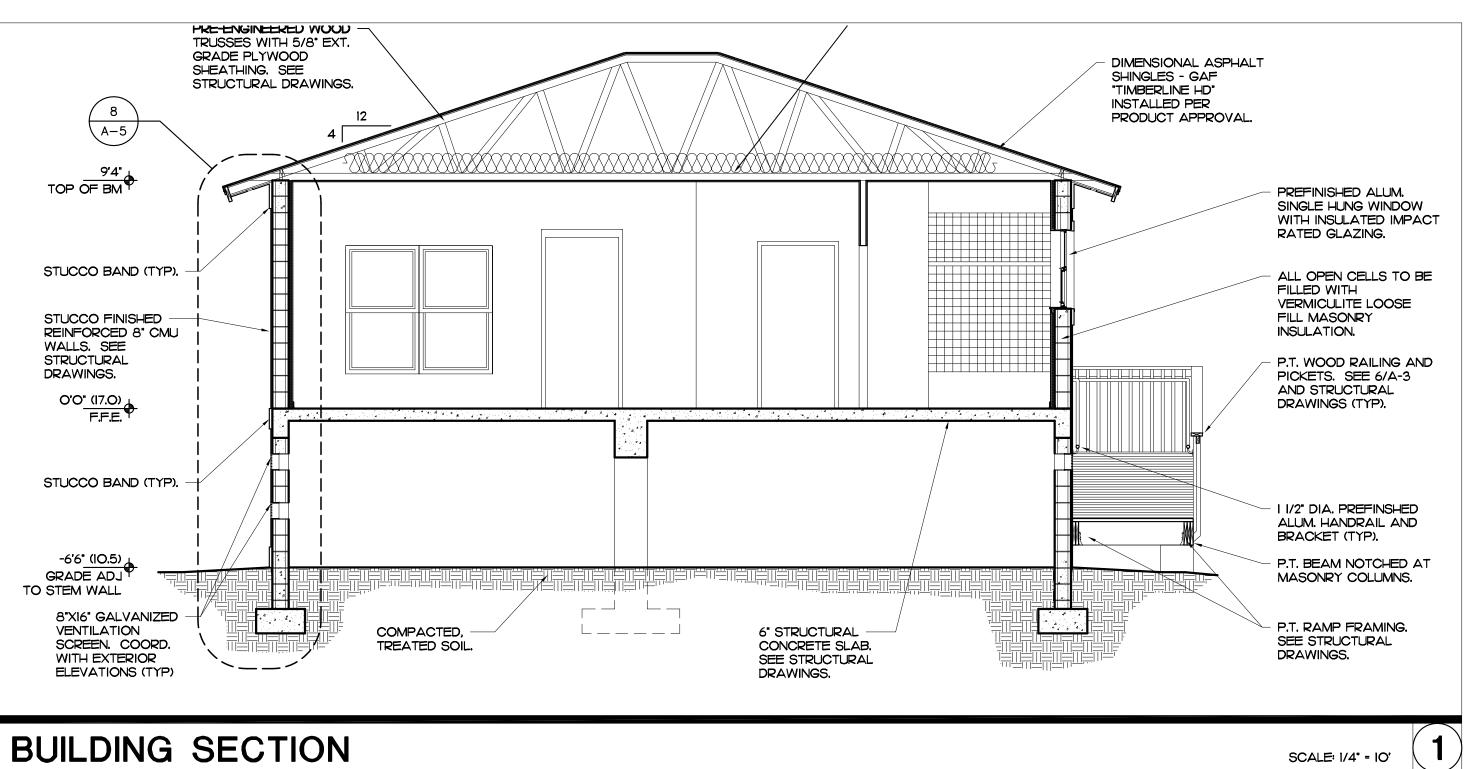
DRAWINGS.

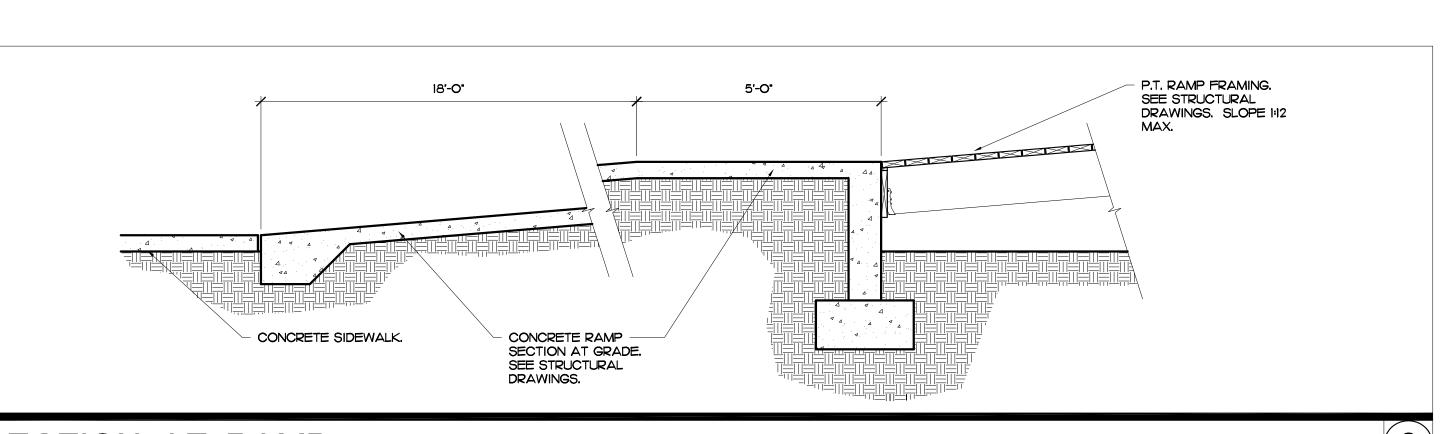
SCALE: 3/4" = 10'

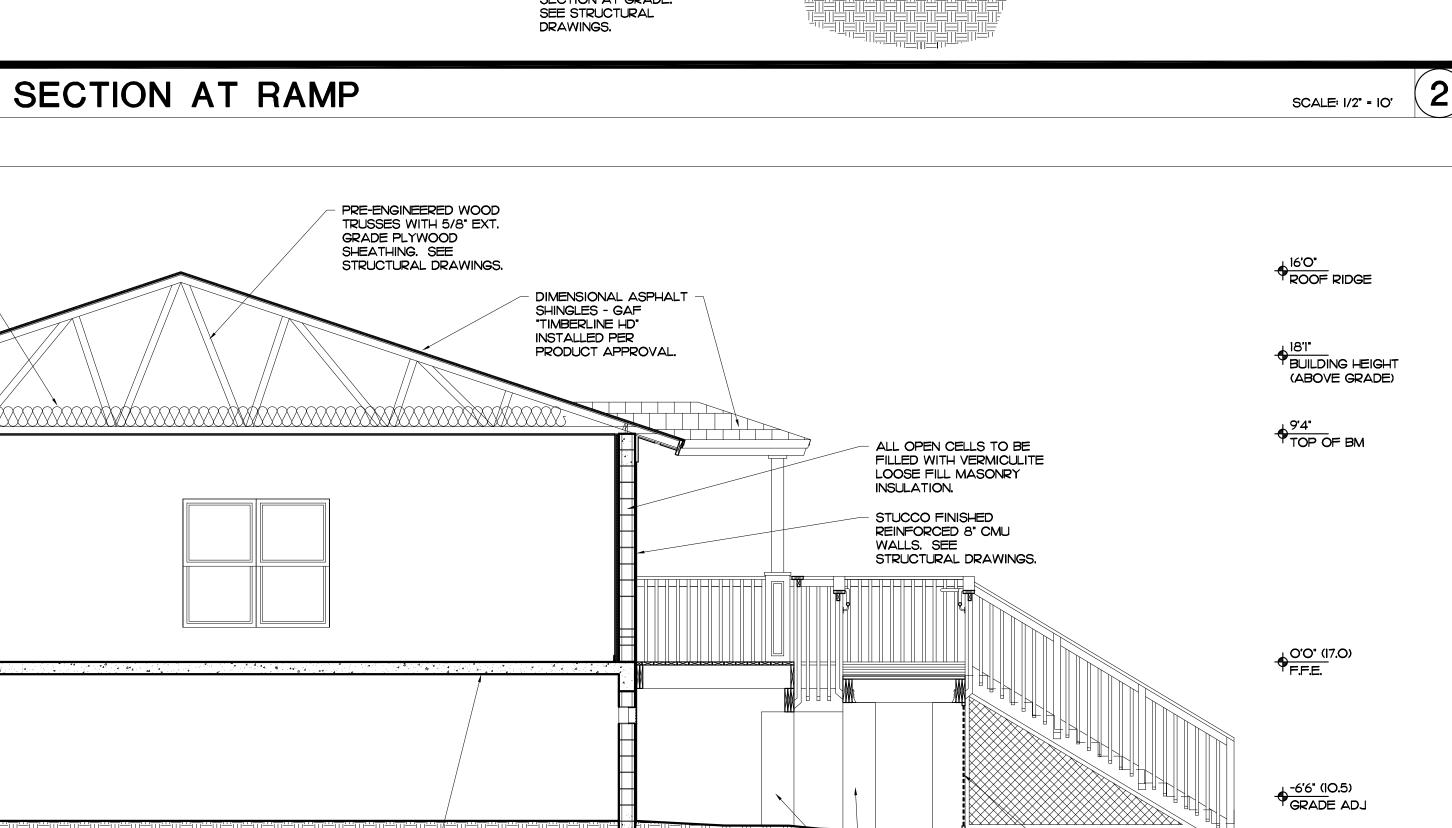
DRAWINGS (TYP).

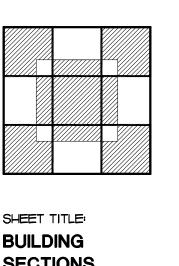
P.T. WOOD RAILING AND -PICKETS. SEE 6/A-3











Colomé

& Associates, Inc.

AA 0003439

530 24TH STREET

WEST PALM BEACH

FLORIDA, 33407

(561) 833-9147

Architect: Elizabeth A. G. Colomé REG. NUMBER: AR 0014839

PBC-DES

CAMERON

275 NW 12TH AVENUE

SOUTH BAY, FL

PROJECT NO.

201739

SECTIONS



CHECKED BY: EAC

SHEET NUMBER:

A-5

SCALE: 1/4" = 10'

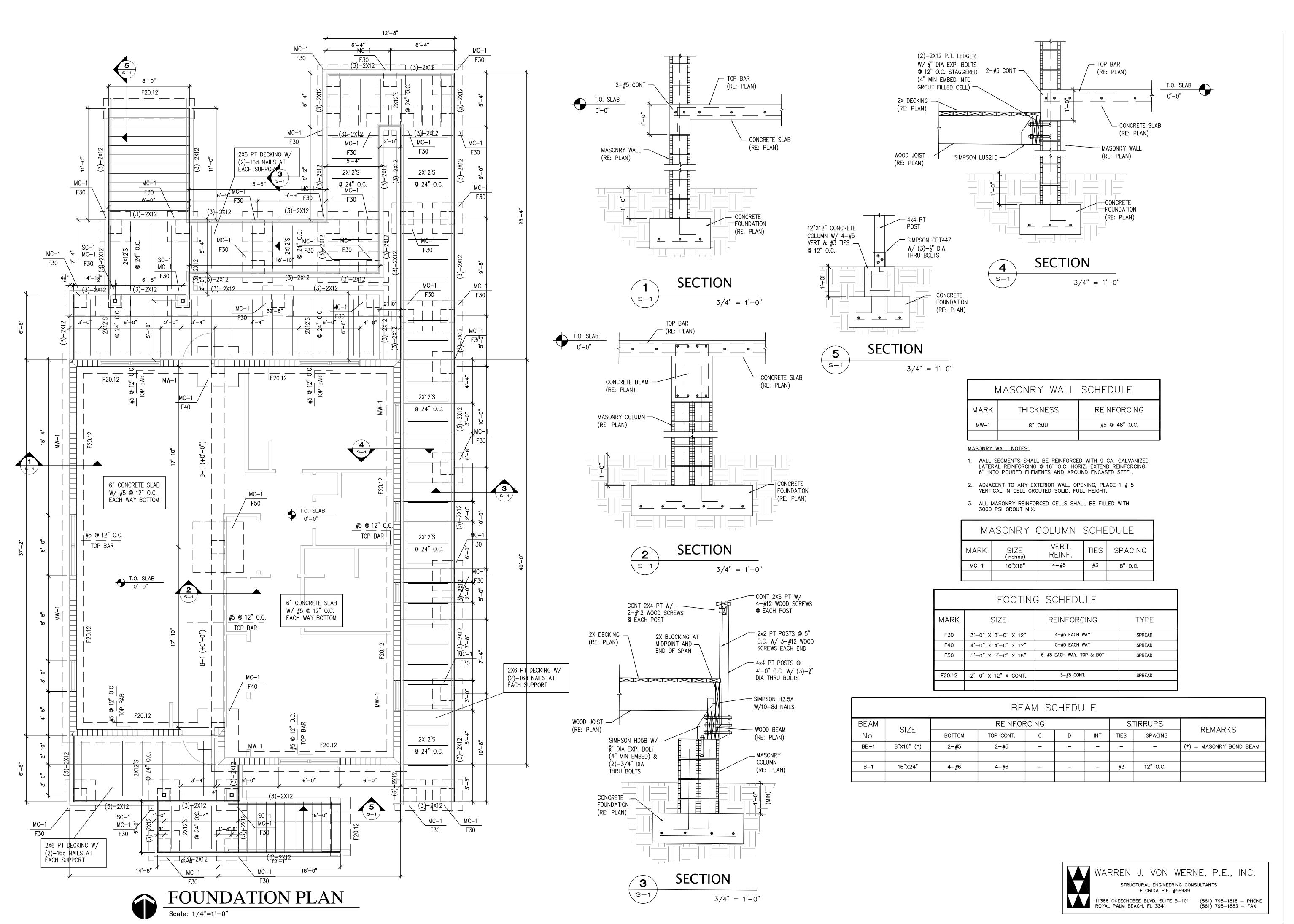
TO STEM WALL

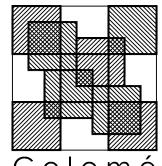
P.T. WOOD LATTICE

INFILL (TYP).

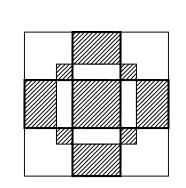
STUCCO FINISHED 16"X16" MASONRY COLUMNS.

SEE STRUCTURAL





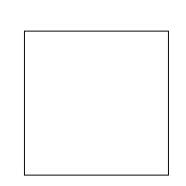
Colomé
& Associates, Inc.
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WEST PALM BEACH
FLORIDA, 33407
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Architect: Elizabeth A. G. Colomé
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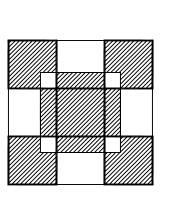


PBC-DES CAMERON RESIDENCE

275 NW 12TH AVENUE SOUTH BAY, FL

PROJECT NO. 201739





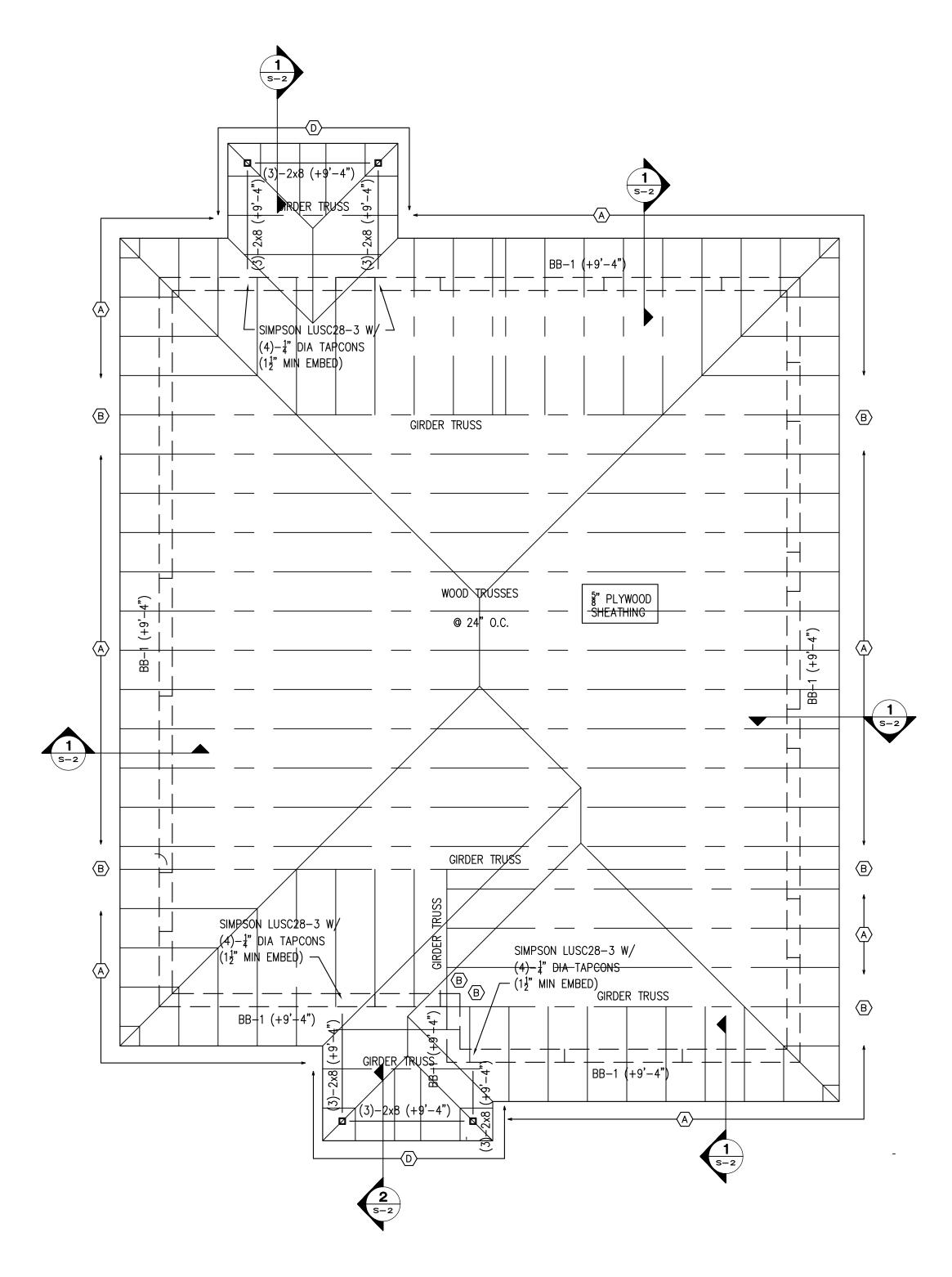
SHEET TITLE:
FOUNDATION PLAN

DATE
6/27/19
DRAWN BY:
WVW

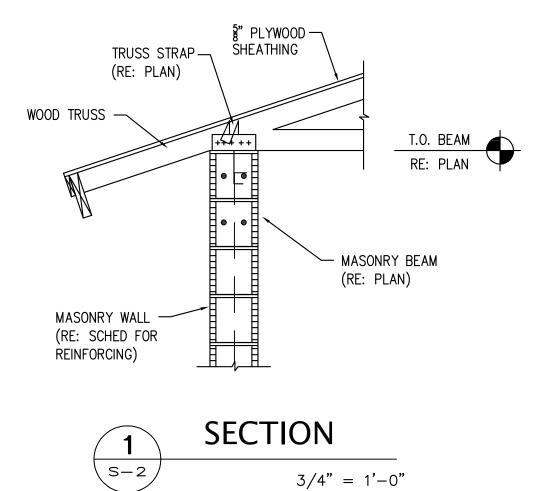
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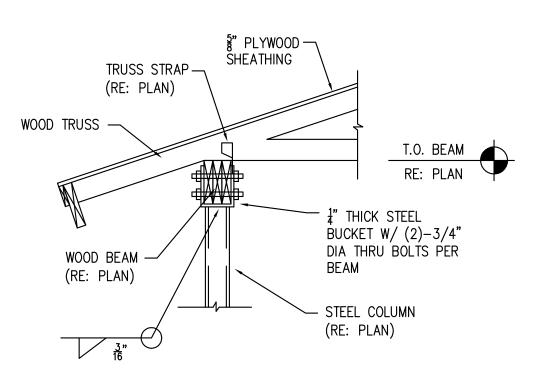
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SHEET NUMBER:







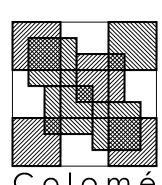




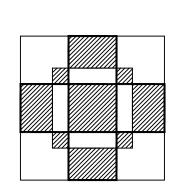
	PROVIDE ANCHOR STRAP FROM TABLE BELOW AT EACH BEARING POINT FOR EACH WOOD TRUSS AND EACH GIRDER TRUSS ADEQUATE TO RESIST UPLIFT AS SPECIFIED BY THE WOOD TRUSS MANUFACTURER.											
	"SIMPSON" TRUSS TIE DOWN (U.N.O.)											
MARK	ANCHOR TYPE	NAILS TO TRUSS	NAILS TO SEAT	NAILS TO BEAM	ALLOWABLE UPLIFT	LATERAL LOAD PARALLEL TO WALL	LATERAL LOAD PERPEND. TO WALL	FLORIDA PRODUCT APP NUMBER				
A	HETAL 16	10-10d x 1 1/2"	5-10d x 1 1/2"	_	1810 #	415 #	1100 #	1901.20				
B	HETAL 16 MSTAM24	10-10d x 1 1/2" 9-10d	5-10d x 1 1/2" -	- (5) 1/4" TAPCONS	3275 #	415 #	1100 #	1901.20 1901.61				
(C)	H2.5A	5-8d	-	5-8d	600 #	110 #	110 #					
D	(2)-H2.5A	10-8d	_	10-8d	1200 #	220 #	220 #					
E	(2)-H2.5A MSTAM24	10-8d 9-10d	-	10-8d 9-10d	2665 #	220 #	220 #					
F	(2)-H2.5A (2)-MSTAM24	10-8d 18-10d	-	10-8d 18-10d	4130 #	220 #	220 #					



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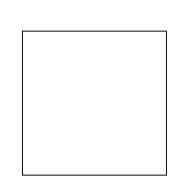
Colomé & Associates, Inc. AA 0003439 530 24TH STREET WEST PALM BEACH FLORIDA, 33407 (561) 833-9147 Architect: Elizabeth A. G. Colomé REG. NUMBER: AR 0014839

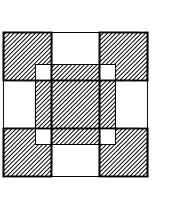


PBC-DES CAMERON RESIDENCE

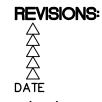
275 NW 12TH AVENUE SOUTH BAY, FL







SHEET TITLE:
ROOF FRAMING PLAN



DATE
6/27/19
DRAWN BY:
WWW
CHECKED BY:

SHEET NUMBER:

S-2

STRUCTURAL NOTES

CONTRACTOR NOTE:

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION OR FOR RELATED SAFETY PRECAUTIONS AND PROGRAMS.

- CODES AND STANDARDS WIND LOADS PER ASCE7-10, FOR A 170 MPH WIND SPEED,
- 2. THE PROJECT WAS DESIGNED IN ACCORDANCE WITH THE: A. 2017 FLORIDA BUILDING CODE.

BUILDING WAS DESIGNED AS AN ENCLOSED BUILDING.

- B. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
- (ACI 318/ 2014 EDITION). C. MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED
- CONCRETE STRUCTURES (ACI 315/ LATEST EDITION). D. MANUAL OF STANDARD PRACTICE FOR WELDING REINFORCING STEEL. INSERTS & CONNECTIONS IN REINFORCED CONCRETE CONSTRUCTION.
- AWS. D1.4/ 2011 EDITION. BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530, 530.1/ASCE 5, 6/TMS 402, 602/2013 EDITIONS).

EXPOSURE C, 1.0 IMPORTANCE FACTOR, AND 0.18 INTERNAL PRESSURE COEFFICIENT.

- F. SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS, ACI 301/
- G. NATIONAL DESIGN SPECIFICATION, WOOD CONSTRUCTION NDS/2012 EDITION
- ARCHITECTURAL AND MECHANICAL DRAWINGS: A. THE STRUCTURAL DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS AND DO NOT BY THEMSELVES PROVIDE ALL THE INFORMATION REQUIRED TO PROPERLY COMPLETE THE PROJECT STRUCTURE. THE GENERAL CONTRACTOR SHALL CONSULT THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND COORDINATE THE
- INFORMATION CONTAINED IN THESE DRAWINGS WITH THE STRUCTURAL DRAWINGS TO PROPERLY CONSTRUCT THE PROJECT. REFER TO ARCHITECTURAL, MECHANICAL OR ELECTRICAL DRAWINGS FOR ADDITIONAL OPENINGS, DEPRESSIONS, FINISHES, INSERTS, BOLTS
- SETTINGS, DRAINS, REGLETS, ETC. C. BEFORE ORDERING ANY MATERIALS OR DOING ANY WORK, THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS TO PROPERLY SIZE OR FIT THE WORK. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED BY THE OWNER RESULTING FROM THE CONTRACTOR'S FAILURE TO COMPLY WITH THIS REQUIREMENT.
- DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH ANY WORK
- SECTIONS AND DETAILS: ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE UNLESS OTHERWISE SHOWN.

FOUNDATION

- ALL SITE PREPARATION AND EXCAVATION WORK IS TO BE PERFORMED IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS ON SOILS AND FOUNDATIONS INVESTIGATION PREPARED BY AN APPROVED SOILS TESTING AGENCY.
- 2. BOTTOM OF FOOTINGS TO BEAR ON CONTROLLED COMPACTED FILL CAPABLE OF SAFELY
- SOILS SUPPORTING ALL FOOTINGS MUST BE INSPECTED AND APPROVED BY A REGISTERED SOILS ENGINEER BEFORE COMMENCING WORK. APPROVAL IN WRITING MUST INDICATE THE SOIL IS ADEQUATE TO SAFELY SUSTAIN SPECIFIED SOIL BEARING PRESSURE.
- PROVIDE ANY BRACING OR SHORING NECESSARY TO AVOID SETTLEMENT OR DISPLACEMENT OF EXISTING FOUNDATION OR STRUCTURES.
- CENTERLINE OF FOOTINGS SHALL COINCIDE WITH CENTERLINE OF COLUMNS UNLESS OTHERWISE NOTED ON DRAWINGS.
- ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS MUST BE VERIFIED AND COORDINATED WITH THE ARCHITECTURAL DRAWINGS BY THE CONTRACTOR BEFORE PROCEEDING WITH THE CONSTRUCTION. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER IN WRITING BEFORE PROCEEDING WITH ANY WORK.

CONCRETE

- CONCRETE ELEMENTS TO HAVE THE FOLLOWING STRENGTHS: A. FOUNDATIONS
- COLUMNS 3000 PSI 3000 PSI D. BEAMS E. MASONRY GROUT 3000 PSI
- ALL OTHER CONCRETE TO BE 3000 PSI UNLESS NOTED OTHERWISE.
- 2. ALL CONCRETE SHALL BE READY MIX AND MEET THE FOLLOWING REQUIREMENTS: A. A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS. SLUMPS SHALL BE 4 MINIMUM AND 6 MAXIMUM.
- ALL CONCRETE TO HAVE MAXIMUM WATER/CEMENT RATIO OF 0.55 D. JOBSITE WATER SHALL NOT BE ADDED.
- 3. ALL CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE ACI BUILDING CODE (ACI 318/ 2002 EDITION), THE ACI DETAILING MANUAL (ACI 315/ 1994 EDITION), AND THE SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301/ LATEST EDITION).
- CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS REQUIRED BY ACI SPECIFICATIONS.
- WELDED WIRE FABRIC SHALL COMPLY WITH ASTM A 185, UNLESS OTHERWISE SPECIFIED. PLACE FABRIC 2" CLEAR FROM TOP OF THE SLAB IN SLAB ON GRADE AND SUPPORT ON SLAB BOLSTERS SPACED AT 3'-0" O.C.
- REQUIREMENTS: ALL REINFORCING STEEL SHALL BE MANUFACTURED FROM HIGH STRENGTH BILLET STEEL CONFORMING TO ASTM DESIGNATION A 615 GRADE 60.
- B. WWF SHALL COMPLY WITH ASTM A 185.
- 7. LAP ALL BARS MINIMUM 48 DIAMETERS UNLESS OTHERWISE NOTED ON DRAWINGS. LAP ALL WWF A MINIMUM OF 6 INCHES (UNLESS OTHERWISE NOTED).
- 8. REINFORCING BARS:
- A. AT CORNERS OF CONCRETE WALLS, BEAMS AND CONTINUOUS WALL FOOTINGS, PROVIDE MATCHING HORIZONTAL BARS X 5'-0" BENT BAR FOR EACH HORIZONTAL BAR SCHEDULED AT EACH FACE.
- B. ALL HOOKS SHOWN IN REINFORCEMENT SHALL BE ACI RECOMMENDED HOOKS UNLESS OTHERWISE NOTED.

9. CONCRETE LINTELS:

A. DROP BOTTOM OF BEAM AT WINDOWS, DOORS, AND MASONRY OPENINGS AS REQUIRED TO PROVIDE CONCRETE CLOSURE BETWEEN THE BOTTOM OF THE BEAM AND WINDOW AND/OR DOOR HEADER OR PROVIDE A PRECAST CONCRETE LINTEL BY CASTCRETE IF NOT NEXT TO A POURED CONCRETE COLUMN.

MASONRY

- 1. MASONRY UNITS SHALL BE LOAD BEARING ASTM C90 NORMAL WEIGHT WITH MINIMUM COMPRESSIVE STRENGTH OF 2,000 PSI ON NET AREA OF INDIVIDUAL UNITS.
- ALL CMU SHALL BE LAID IN A FULL BED OF MORTAR IN RUNNING BOND (U.N.O.). 2. ALL MORTAR SHALL BE TYPE S OR M IN ACCORDANCE WITH ASTM SPECIFICATION C270 WITH A MINIMUM COMPRESSIVE STRENGTH OF 1,800 PSI AT 28 DAYS, (2500 WITH TYPE M).
- 3. GROUT SHALL BE A HIGH SLUMP MIX IN ACCORDANCE WITH ASTM SPECIFICATION C476 HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI. ALL MASONRY GROUT TO BE A COURSE MIX PER TABLE 2103.10 OF THE FBC. 4. ALL CONCRETE MASONRY BEARING AND SHEAR WALLS SHALL BE CONSTRUCTED
- IN ACCORDANCE WITH THE "BUILDING CODE REQUIREMENT FOR MASONRY STRUCTURES" (ACI 530/ASCE 5/TSM 402) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1/ASCE 6/TSM 602)/ 2013 EDITIONS.
- 5. PROVIDE LADDER TYPE HORIZONTAL JOINT REINFORCEMENT (9 GA.) AT 16" ON CENTER VERTICAL IN ALI MASONRY WALLS. PROVIDE DOVE TAIL SLOT ANCHORS AT CONCRETE

WOOD

- 1. ALL STRUCTURAL WOOD MEMBERS ARE DESIGNED AS "DRY-USE". MOISTURE CONTENT MUST BE 19% OR LESS. STORE WOOD FRAMING ABOVE GROUND AND UNDER TARPS WITH PROPER AIR CIRCULATION.
- 2. ALL LUMBER SHALL BE SOUTHERN PINE SPECIES #2 GRADE OR APPROVED EQUAL. ALLOWABLE DESIGN STRESSES SHALL FOLLOW NATIONAL DESIGN SPECIFICATION
- 3. PROVIDE SP CCA PRESSURE TREATED LUMBER IN ACCORDANCE WITH AWPA STANDARDS TO A MINIMUM OF 0.40 PCF RETENTION WHERE LUMBER IS IN CONTACT WITH CONCRETE / MASONRY OR OUTSIDE OF BUILDING.
- 4. PLYWOOD SHEATHING:
- A. ROOF: USE 19/32" APA 40/20 RATED, EXP 1 PLYWOOD SHEATHING.
- B. SEE FRAMING PLANS FOR NAILING AND/OR BLOCKING REQUIREMENTS. USE 8'-0" LONG X 4'-0" WIDE SHEETS WITH LENGTH ACROSS FRAMING. STAGGER PANEL END JOINTS 4'-0" TYP, ALLOW 1/8" SPACE ALONG PANEL EDGES AND END JOINTS.
- 5. ALL NAILS USED FOR STRUCTURAL FRAMING MEMBERS SHALL BE COMMON WIRE, U.N.O. ALL NAILS, TRUSS HANGERS, AND TRUSS STRAPS SHALL BE GALVANIZED.

PRESSURE (PSF)

SUCTION (PSF)

NAIL SIZE

10d

2. CORNER DISTANCE. A = 3.3 FEET

- WOOD ROOF TRUSSES ARE TO BE DESIGNED FOR THE WOOD FABRICATOR BY A SPECIALTY ENGINEER REGISTERED IN THE STATE OF FLORIDA. SEALED CALCULATIONS AND LAYOUT DRAWINGS ARE TO BE SUBMITTED FOR APPROVAL. TRUSS FABRICATOR TO PROVIDE ALL TRUSS-TO-TRUSS HANGERS AS REQUIRED TO RESIST GRAVITY AND UPLIFT REACTIONS.
- 2. WOOD TRUSSES SHALL BE BRACED AND ERECTED IN ACCORDANCE WI THE "TRUSS PLATE INSTITUTE" HANDLING, INSTALLING AND BRACING OF WOOD TRUSSES: COMMENTARY AND RECOMMENDATIONS, HIB (1991 EDITION). BRACING IN THE PLANE
 - A. THE TRUSS FABRICATOR SHALL PROVIDE AND LOCATE CONTINUOUS LATERAL
- BRACING FOR EACH TRUSS WEB MEMBER AS REQUIRED. LATERAL BRACING SHALL BE RESTRAINED BY DIAGONAL BRACING (MIN 2"
- THICK NOMINAL LUMBER). THIS BRACING IS TO BE CONTINUOUS. A MINIMUM OF TWO ROWS OF DIAGONAL BRACING IS REQUIRED, ONE AT EACH VERTICAL WEB MEMBER CLOSEST TO BEARING LOCATIONS.
- 3. THE BOTTOM CHORDS SHALL BE BRACED BY CONTINUOUS LATERAL BRACING SPACED AT 8'-0" ON CENTER WITH A CEILING ATTACHED TO BOTTOM OF TRUSSES. IF NO CEILING IS ATTACHED TO BOTTOM OF TRUSSES, BRACING SHALL BE MINIMUM 2X4 @36" ON CENTER NAILED TO THE TOP OF THE BOTTOM CHORD. DIAGONALS PLACED AT 45 DEGREES TO THE LATERAL BRACES SHALL BE LOCATED AT EACH END.
- 4. DO NOT CUT, DRILL, OR NOTCH ROOF OR FLOOR TRUSSES WITHOUT WRITTEN APPROVAL FROM TRUSS ENGINEER. COORDINATE MECHANICAL, ELECTRICAL,

WIND LOAD SCHEDULE - ALLOWABLE STRESS

1. EXTERIOR GLAZED OPENINGS IN BUILDINGS SHALL COMPLY WITH 2014 FLORIDA BUILDING CODE BY EITHER

BEING DESIGNED FOR IMPACT RESISTANCE OR BEING PROTECTED BY IMPACT PROTECTIVE SYSTEMS.

PLYWOOD SHEATHING NAILING SCHEDULE

(WALLS AND ROOF)

NAIL SPACING

4" @ EDGES, 6" @ INTERMEDIATE SUPPORTS

6" @ EDGES, 6" @ INTERMEDIATE SUPPORTS

4" @ EDGES, 6" @ INTERMEDIATE SUPPORTS

6" @ EDGES, 6" @ INTERMEDIATE SUPPORTS

21.8

60.2

ROOF WIND LOADS

ROOF AREA

21.8

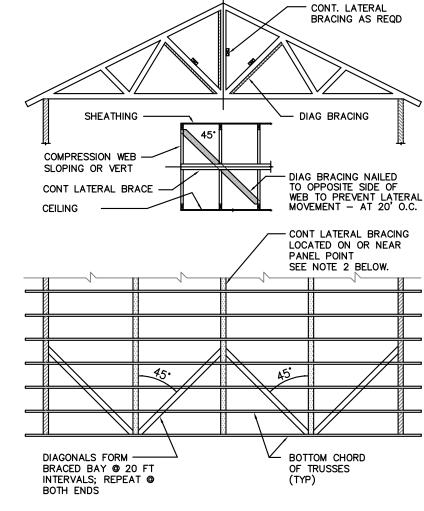
60.2

PLUMBING, ETC. SIZES AND LOCATIONS WITH TRUSS LAYOUT PRIOR TO ERECTION. CONNECTOR PLATES SHALL BE MANUFACTURED BY A WTCA MEMBER PLATE SUPPLIER AND SHALL MEET OR EXCEED ASTM A653/A653M REQUIREMENTS FOR STRUCTURAL STEEL.

21.8

34.6

H < 60 FT



- 1. WOOD TRUSSES SHALL BE BRACED AND ERECTED IN ACCORDANCE WITH THE "TRUSS PLATE INSTITUTE" BRACING WOOD TRUSSES: COMMENTARY AND RECOMMENDATIONS, HIB-91, BRACING IN THE PLAN OF THE WEB MEMBERS
- a. THE TRUSS FABRICATOR SHALL PROVIDE AND LOCATE CONTINUOUS LATERAL BRACING FOR EACH TRUSS WEB MEMBER AS REQUIRED.
- LATERAL BRACING SHALL BE RESTRAINED BY DIAGONAL BRACING (MIN. 2" THICK NOMINAL LUMBER). THIS BRACING IS TO BE CONTINUOUS.
- c. A MINIMUM OF TWO ROWS OF DIAGONAL BRACING IS REQUIRED, ONE AT EACH VERTICAL WEB MEMBER CLOSEST TO BEARING LOCATIONS.
- 2. THE BOTTOM CHORDS SHALL BE BRACED BY CONTINUOUS LATERAL BRACING SPACED AT 8'-0" O. C. WITH A CEILING ATTACHED TO BOTTOM OF TRUSSES. OR IF NO CEILING IS ATTACHED TO BOTTOM OF TRUSSES BRACING SHALL BE MIN. 2 x 4 @ 36" O.C. NAILED TO THE TOP OF THE BOTTOM CHORD. DIAGONALS PLACED AT 45° TO THE LATERAL BRACES SHALL BE LOCATED AT EACH END. IF BUILDING EXCEEDS 60 FEET IN LENGTH, DIAGONAL BRACING SHOULD BE REPEATED AT 20 FOOT INTERVALS.

3. TOP CHORD BRACING:

WALL WIND LOADS

(SEE NOTE 1)

WALL AREA

37.8

50.6

37.8

41.0

ELEVATION

ZONE

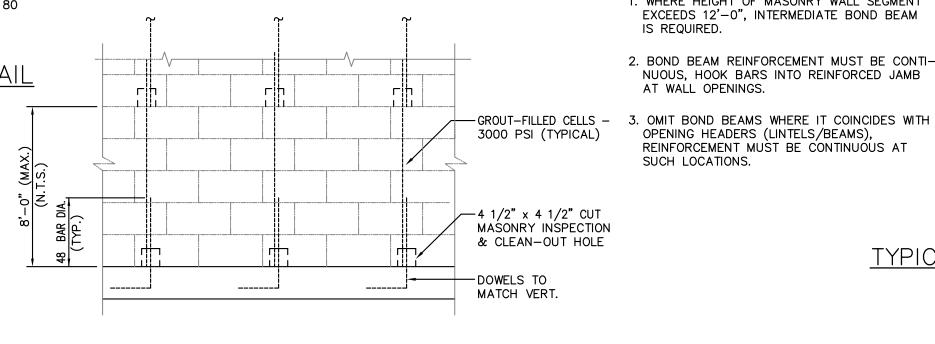
(1)

(5)

ROOF (2) (3)

- a. IF PLYWOOD DECKING IS APPLIED DIRECTLY TO TOP CHORD, PROPERLY LAPPED AND NAILED TO DEVELOP DIAPRAGHM ACTION, BRACING IS NOT REQUIRED.
- b. IF PURLINS ARE USED, DIAGONAL TOP CHORD BRACING IS REQUIRED AT EACH END. IF BUILDING EXCEEDS 80 FEET IN LENGTH, DIAGONAL BRACING SHOULD BE REPEATED AT 20 FOOT INTERVALS.

WOOD TRUSS BRACING DETAIL



0.25 L1*

or L2*

TOP BAR AT INTERIOR SUPPORT (IN ADDITION TO TOP CONT BARS)

TOP BAR AT EXTERIOR SUPPORT (IN ADDITION TO TOP CONT BARS)

INTERMEDIATE BARS LOCATED AT A SPACING EQUAL TO THE WIDTH

OF THE BEAM BUT NOT GREATER THAN 12" ABOVE BOTT BARS.

DIAGRAM A

INTERIOR BEAM

PLACE IN SAME LAYER AS TOP CONT BARS (U.O.N.). LOCATE AT

RIGHT SUPPORT OF SPAN INDICATED IN SCHEDULE.

PLACE IN SAME LAYER AS TOP CONT BARS (U.O.N.).

IF MORE THAN ONE PAIR, PLACE IN LAYERS OF TWO.

WHEN ADJACENT BEAMS OR TIE BEAMS HAVE TOP CONT BARS OF DIFFERENT SIZE,

THE TRANSITION SHOULD BE MADE AT MIDSPAN OF THE BEAM WITH SMALLER SCHEDULED

(2L) - INDICATES BARS PLACE IN TWO LAYERS. WHERE BARS ARE PLACED IN TWO

LAYERS, THE SECOND LAYER BARS MUST BE PLACED DIRECTLY UNDER BARS IN THE

FIRST LAYER (IF TOP BAR) OR DIRECTLY OVER BAR IN THE FIRST LAYER (IF BOTT BAR).

"B" INDICATES BEAM WIDTH DIMENSION. WHEN BEAM IS OVER A BLOCK WALL, USE ACTUAL

"H" INDICATES BEAM DEPTH DIMENSION. LESS 1 1/2" FOR RECESS FOR BLOCK WALL

DEDUCTED WHERE APPLICABLE, OR MINIMUM DEPTH IN A VARIABLE DEPTH BEAM.

TYPICAL BEAM BAR PLACEMENT DIAGRAM

COORDINATE BEAM CONFIGURATION WITH ARCHITECTURAL DRAWINGS.

PROVIDE 1" CLEAR DISTANCE BETWEEN LAYERS OR ONE BAR DIAMETER, WHICHEVER IS

#8 72**"**

#10 91**"**

WHICHEVER IS GREATER.

BARS. USE LAP SPLICE LENGTH OF SMALLER SIZE BAR.

SCHEDULED BEAM SIZES : [SEE DIAGRAM A]

BLOCK WIDTH (7 5/8" or 11 5/8").

or L2*

STIRRUPS

SEE SCHEDULE

#4 23**"**

#6 35"

CLASS "B"

TENSION

(3000 PSI

CONCRETE)

THE GREATER DISTANCE.

SPLICE

L₁ (END SPAN)

SPLICE AT | 0.25 L2*

or L3*

SPANDREL BEAM

1. WHERE HEIGHT OF MASONRY WALL SEGMENT

IS REQUIRED.

AT WALL OPENINGS.

SUCH LOCATIONS.

EXCEEDS 12'-0", INTERMEDIATE BOND BEAM

2. BOND BEAM REINFORCEMENT MUST BE CONTI-

REINFORCEMENT MUST BE CONTINUOUS AT

NOTE:

OPENING HEADERS (LINTELS/BEAMS),

NUOUS, HOOK BARS INTO REINFORCED JAMB

MIDSPAN

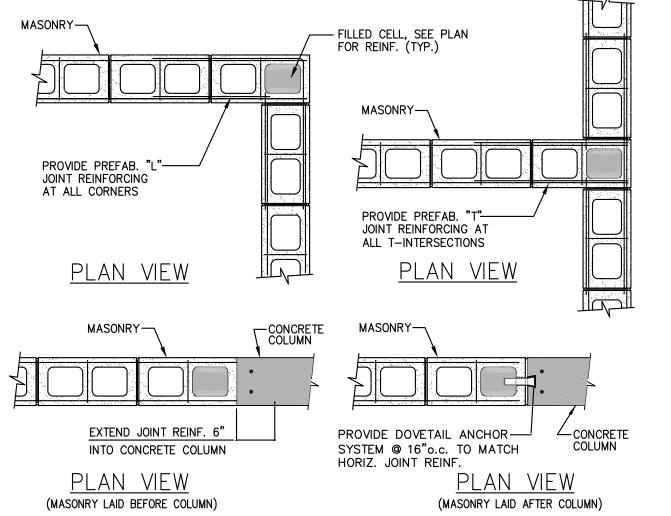
STIRRUPS

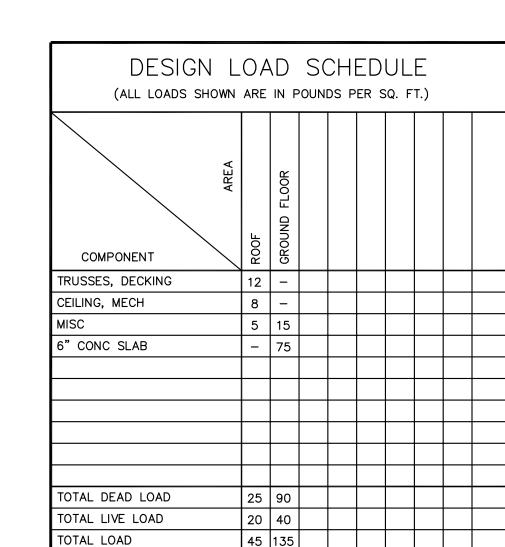
SEE SCHEDULE

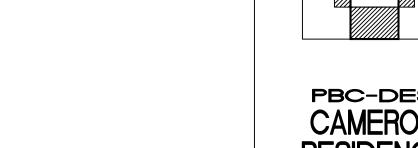
L2 (INTERIOR SPAN)

DETAILS

N.T.S.

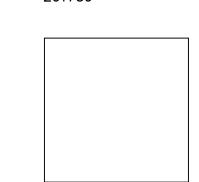


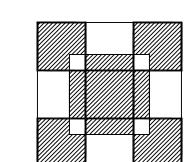




275 NW 12TH AVENUE SOUTH BAY, FL

PROJECT NO. 201739



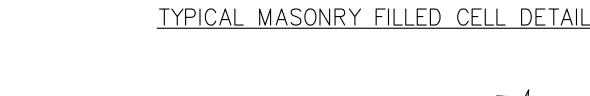


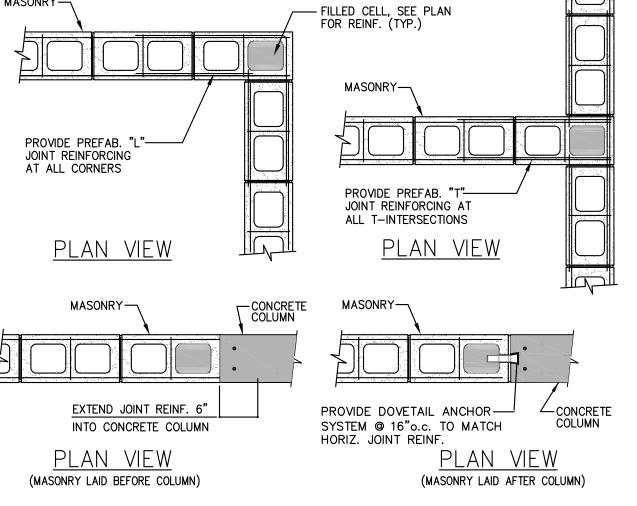
SHEET TITLE: STRUCTURAL NOTES **DETAILS**

REVISIONS: 6/27/19

WW

NUMBER:





MASONRY

WARREN J. VON WERNE, P.E., INC. STRUCTURAL ENGINEERING CONSULTANTS FLORIDA P.E. #56989 11388 OKEECHOBEE BLVD, SUITE B-101 (561) 795-1818 - PHONE ROYAL PALM BEACH, FL 33411 (561) 795–1883 – FAX

48 BAR DIAMETER

SPLICE LENGTH

EL. +8'-0"

MASONRY U-BLOCK

BOND BEAM WITH

N.T.S.

- STANDARD HOOK

TIE SIZE (SEE SCHEDULE)

- VERT STL

TIE SPACING

FIN. FL. EL.

1. ADD EXTRA TIES IF THE DISTANCE BETWEEN BOTTOM LAYER OF

TYPICAL CONCRETE COLUMN

MORE THAN HALF SCHEDULED TIE SPACING.

CLASS B TENSION LAP SPLICE.

2. WHERE COLUMN IS SPLICED BETWEEN FLOORS, PROVIDE

SLAB REINFORCEMENT AND LOWER POINT OF OFFSET BENT IS

(SEE SCHEDULE)

DOWELS TO MATCH COL

SEE FOOTING SCHEDULE

FOR SIZE AND REINF

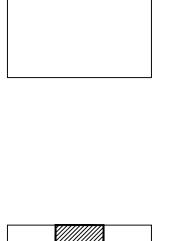
REINF SIZE AND NUMBER

T.O. BOND BM.

2#5 CONT.

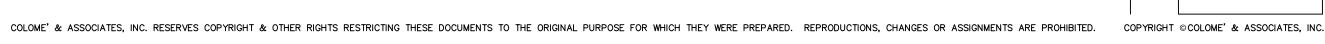
TYPICAL BOND BEAM DETAIL

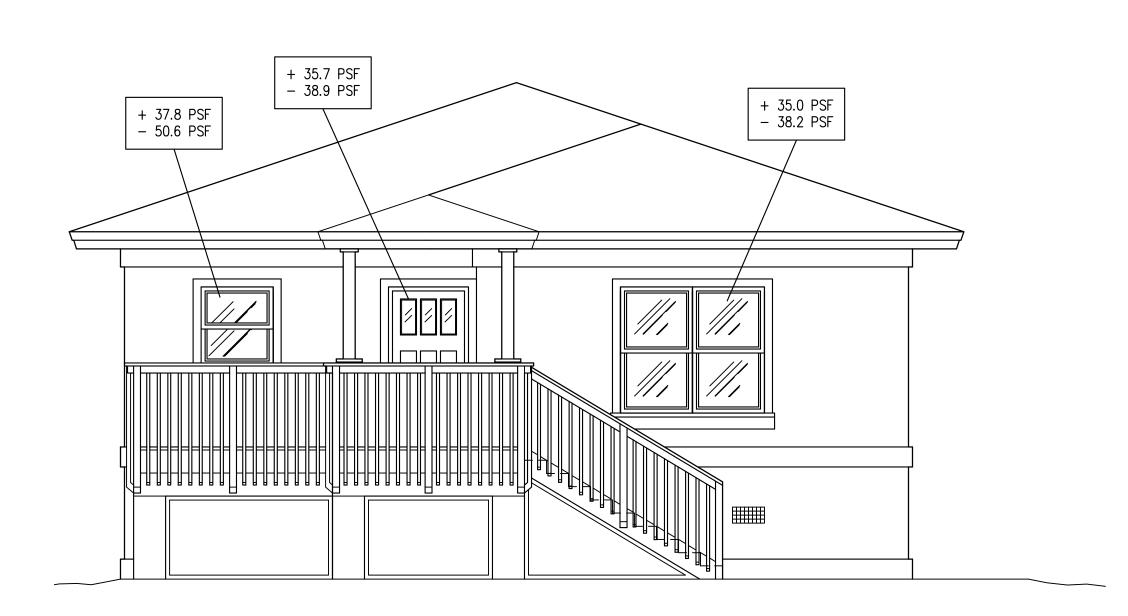




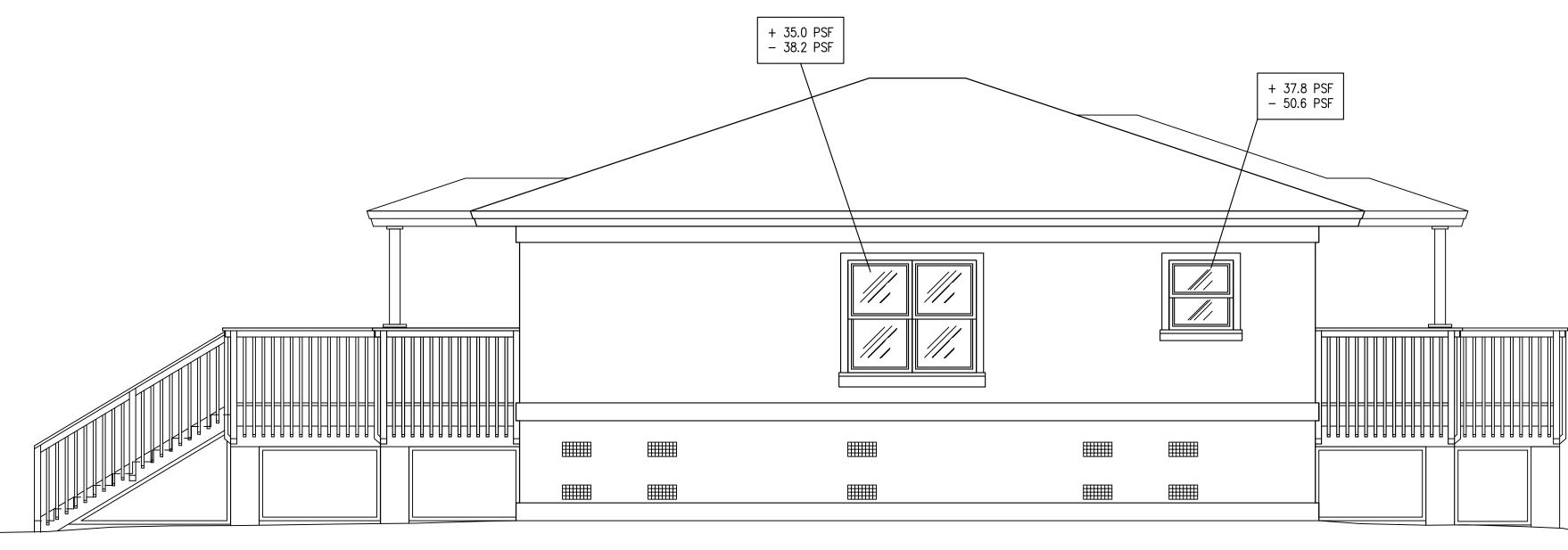


DRAWN BY: CHECKED BY:

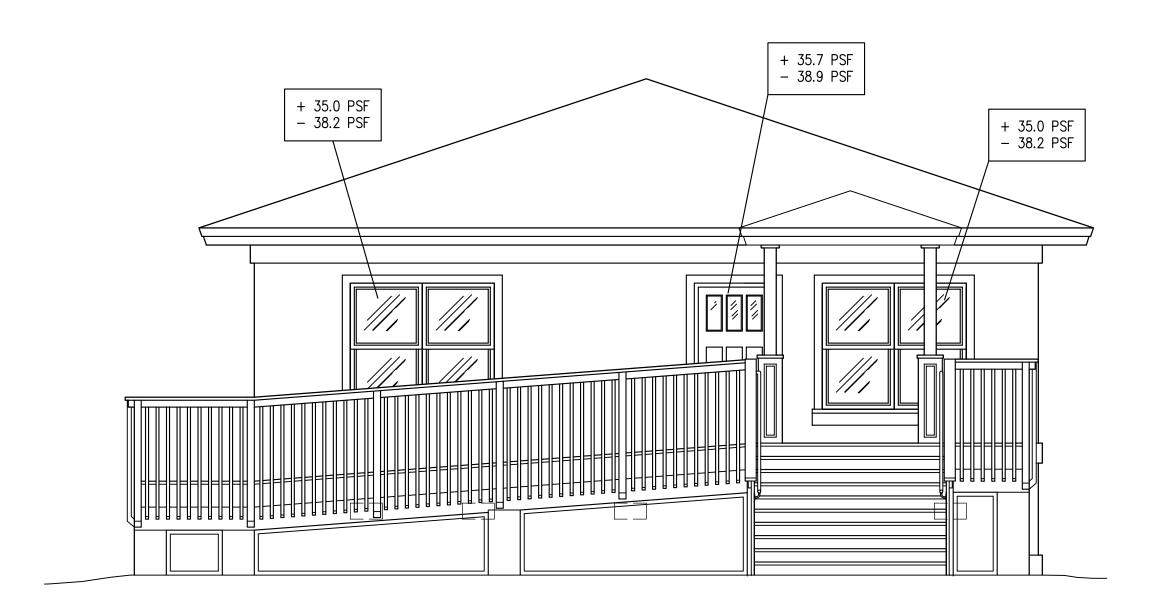


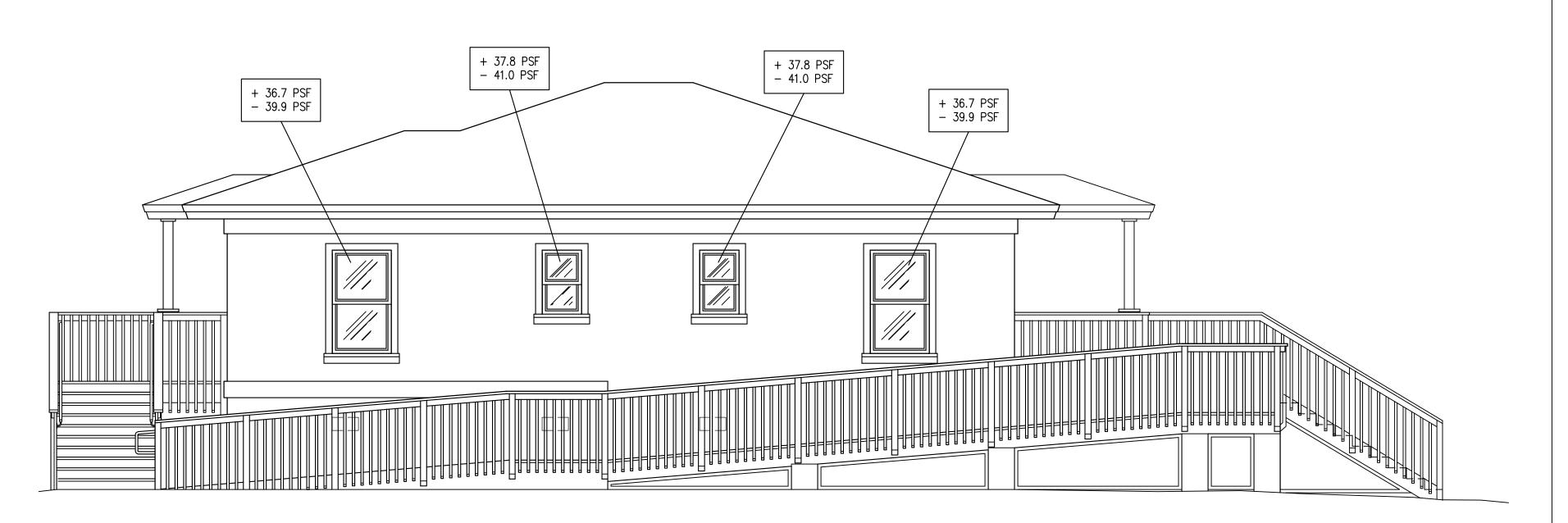


SOUTH ELEVATION







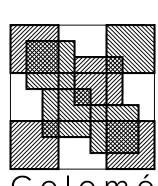




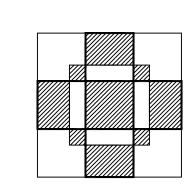




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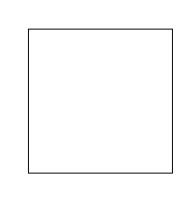
Colomé & Associates, Inc. AA 0003439 530 24TH STREET WEST PALM BEACH FLORIDA, 33407 (561) 833-9147 Architect: Elizabeth A. G. Colomé REG. NUMBER: AR 0014839

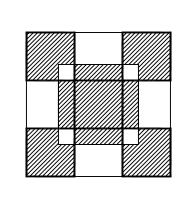


PBC-DES CAMERON RESIDENCE

275 NW 12TH AVENUE SOUTH BAY, FL

PROJECT NO. 201739





SHEET TITLE:
WIND PRESSURES

DATE
6/27/19

DATE
6/27/19
DRAWN BY:
WVW
CHECKED BY:

SHEET
NUMBER:

S-4